



**CITY OF HUTTO, TEXAS
ZONING BOARD OF ADJUSTMENT
REGULAR MEETING
Wednesday, August 28, 2019 AT 7:00 PM
CITY HALL - CITY COUNCIL CHAMBERS
500 WEST LIVE OAK STREET**

ZONING BOARD OF ADJUSTMENT

Bryan Dempsey
Thomas McGowan
David Meyer
Wendell Teltow
Maureen Rooker
Randal Clark

AGENDA

1. CALL SESSION TO ORDER
2. ROLL CALL
3. PUBLIC COMMENT

3.A. Remarks from visitors. *(Three-minute time limit.)*

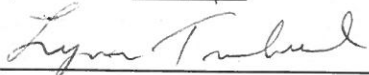
4. AGENDA ITEMS

4.A. Consideration and possible action on the meeting minutes for the Zoning Board of Adjustment regular meeting held on June 26, 2019.

4.B. Consideration of a public hearing and possible action on variance request #1.44 for the property located at 1500 Knowles Drive, Lot C3, Block J of the Enclave At Brushy Creek Section 1 Subdivision, from the buffer yard requirements as outlined in Section 10.403.6.3 of the Unified Development Code (UDC).

5. ADJOURNMENT
6. CERTIFICATION

I certify that this notice of the August 28, 2019 Zoning Board of Adjustment meeting was posted on the City Hall bulletin board of the City of Hutto on August 23, 2019 at 3:30 p.m.



Lynn Trumbul, Senior Assistant City Secretary

The City of Hutto is committed to comply with the Americans Disability Act. The Hutto City Council Chamber is wheelchair accessible. Request for reasonable special communications or accommodations must be made 48 hours prior to the meeting. Please contact the City Secretary at (512) 758-4839 or laclie.hale@huttox.gov for assistance.



**ZONING BOARD OF ADJUSTMENT
MEETING MINUTES - DRAFT
JUNE 26, 2019**

The Hutto Zoning Board of Adjustment met in a regular session on Wednesday, June 26, 2019 at Council Chambers located at 500 W. Live Oak Street, Hutto, TX 78634.

CALL SESSION TO ORDER

Board Member Randal Clark called the session to order at 7:00 p.m.

ROLL CALL

Members of the Zoning Board of Adjustment that were present were Board Member Randal Clark, Board Member Maureen Rooker, and Board Member Bryan Dempsey. Members of the Zoning Board of Adjustment that were absent were Board Member Dana Lively and Board Member Thomas McGowan.

Members of staff that were present were Ashby Grundman, Development Services Director, and Angel Kavanaugh, Management Assistant.

PUBLIC COMMENT

Remarks from visitors.

There were no remarks from visitors.

AGENDA ITEMS

4.A. Consideration and possible action on the minutes for the Zoning Board of Adjustment regular meeting held on October 24, 2018.

MOTION: *Board Member Maureen Rooker made the motion to accept the minutes, Board Member Bryan Dempsey seconded the motion. The motion carries 3 Ayes to 0 Nays.*

4.B. Nomination and election of Chairman and Vice-Chairman of the Zoning Board of Adjustment.

MOTION: *Board Member Bryan Dempsey made a nomination for Randal Clark as Chairman, Board Member Maureen Rooker seconded the motion. The motion carries 3 Ayes to 0 Nays.*

Board Member Randal Clark made a nomination for Maureen Rooker as Vice-Chair, Board Member Bryan Dempsey seconded the motion. The motion carries 3 Ayes to 0 Nays.

4C. Consideration of a public hearing and possible action on variance request #1.43 for the property located at 3250 Limmer Loop from the parking lot and vehicular screening requirements as outlined in Section 10.407.5.2; and from the bufferyard requirements as outlined in Section 10.403.6.3 of the Unified Development code (UDC).Commercial, Office, Public, Institutional, and Mixed Use Building Design requirements, as outlined in Section 10.406 of the Unified Development Code (UDC).

Ashby Grundman presented – staff recommends approval of the variance as presented.

MOTION: *Board Member Maureen Rooker made a motion to approve agenda item 4C as presented, Board Member Bryan Dempsey seconded to motion. The motion carries 3 Ayes to 0 Nays.*

ADJOURNMENT

There being no further discussion, the meeting adjourned at 7:12 p.m.

RESPECTFULLY SUBMITTED:

Randal Clark, Chairman

Zoning Board of Adjustment
**AGENDA ITEM
REPORT**



To: Zoning Board of Adjustment
Subject: Consideration of a public hearing and possible action on variance request #1.44 for the property located at 1500 Knowles Drive, Lot C3, Block J of the Enclave At Brushy Creek Section 1 Subdivision, from the bufferyard requirements as outlined in Section 10.403.6.3 of the Unified Development Code (UDC).
Meeting: Zoning Board of Adjustment - 28 Aug 2019
Department: Development Services
Staff Contact: Ashby Grundman

BACKGROUND INFORMATION:

Type of Request

Variance request from the Bufferyard Requirement (10.403.6.3 of the UDC).

Property Description:

Lot C3, Block J, Enclave at Brushy Creek Section 1.

Location:

1500 Knowles Drive

Owner:

Bret Elliot, Plaza Street Hutto 68, LLC

Zoning:

B-2 (General Commercial)

Proposed Land Use:

Kentucky Fried Chicken Restaurant

Adjacent Land Uses:

Direction	Zoning	Land Use
North	B-2 (General Commercial)	Valero Gas Station
South	B-2 (General Commercial)	Vacant Commercial
East	SF -1 (Single-Family Residential)	Single-Family Residential
West	SF -1 (Single-Family Residential)	Single-Family Residential

Background:

The subject property, which consists of approximately 0.916 acres (39,906 square feet) is a rectangular lot at the northeast corner of Chris Kelley Boulevard (FM 685) and Knowles Drive. The proposed KFC has already been permitted and the permit is for a code compliant development.

They are requesting the following variances:

1. To allow the bufferyard to be less than what is required by the Unified Development Code.

Below is the excerpt from the UDC:

10.403.6.3 Required bufferyards

The table below indicates the level of bufferyard required between each zoning district or land use. Letters "a" to "c" correspond to the type of bufferyard required and the specific situations in which the bufferyard is required. A box with "--" indicates that a bufferyard is not required between those development types.

Development providing bufferyard		Adjacent district									
		REC	SF-R	SF-1	SF-2	MH	MF	B-1	B-2	LI	I
	REC	--	--	--	--	--	--	--	--	--	--
	SF-R	--	--	--	--	--	--	--	--	--	--
	SF-1	a	a	--	--	--	--	--	--	--	--
	SF-2	a	a	a	--	--	--	--	--	--	--
	MH	b	b	b	b	--	--	--	--	--	--
	MF	b	b	b	b	b	--	--	--	--	--
	B-1	b	b	b	a	a	a	--	--	--	--
	B-2	c	c	c	b	b	b	--	--	--	--
LI	c	c	c	c	c	c	b	a	--	--	
I	c	c	c	c	c	c	c	b	a	--	

a. A low level bufferyard ("a") shall consist of the following:

- A 10 ft. wide planting area; or a 5 ft. wide planting area plus a 6+ ft. tall masonry wall;
- Two (2) native tall trees and one (1) native short tree per every fifty (50) linear feet of bufferyard.
- For bufferyards where the optional 6+ ft. tall masonry wall is not provided, a continuous landscape hedge not less than 3 ft. in height is required.

b. A medium level bufferyard ("b") shall consist of the following:

- A 20 ft. wide planting area; or a 15 ft. wide planting area plus a 6+ ft. tall masonry wall;
- Two (2) native tall trees and one (1) native short tree per every fifty (50) linear feet of bufferyard.
- For bufferyards where the optional 6+ ft. tall masonry wall is not provided, a continuous landscape hedge not less than 3 ft. in height is required.

c. A high level bufferyard ("c") shall consist of the following:

- A 30 ft. wide planting area; or a 25 ft. wide planting area plus a 6+ ft. tall masonry wall;
- Two (2) native tall trees and one (1) native short tree per every fifty (50) linear feet of bufferyard.
- For bufferyards where the optional 6+ ft. tall masonry wall is not provided, a continuous landscape hedge not less than 3 ft. in height is required.

10.403.6.4 Bufferyards adjacent to development perimeter walls

Where a development perimeter wall is provided, a bufferyard consisting of the following shall be provided between the wall and the street:

- A 10 ft. wide planting area;
- Two (2) native tall trees and one (1) native short tree per every fifty (50) linear feet of bufferyard, and;
- A continuous landscape hedge not less than 3 ft. in height.

Staff Analysis:

1. *There are unique conditions peculiar to the parcel, such as an unusual shape, that do not exist on adjacent parcels.*

Staff finds that the requested variance is a design driven hardship, and the requested variance is for a landscape buffer that has been shown by the applicant that compliance is possible.

2. *Strict application of the UDC deprives the applicant of rights commonly enjoyed by other land in the area or land with a similar zoning designation.*

The strict application of the UDC standards would not make the lot unusable, as the applicant has shown they can comply with the UDC.

3. *The variance is in harmony with the spirit of the UDC and community, neighborhood and other applicable land use and development plans, and will not adversely affect property near the subject site.*

Staff finds that the requested screening and bufferyard variances do meet the intent of the UDC. Staff finds that approval of the variance would adversely impact the neighboring property owners, as the masonry wall will provide a higher quality buffer, over a wooden fence.

4. *Conditions resulting in the request are not self-created by disregard or ignorance of the UDC.*

The conditions of the site are self-created by the applicant. The design and configuration of the proposed development would need variances as the easements do not allow landscaping that would meet the UDC within the easements. However, it has been shown by the existing permit that the site can be developed per the UDC, and be code compliant.

5. *The variance does not confer special privilege that the UDC does not permit on other lands, structures or buildings in the same zoning district.*

The requested variance does not confer any special privilege to the applicant that is not permitted on other similar properties. Any property owner has the right to apply for a variance.

6. *The variance is the minimum necessary to grant relief.*

Staff finds that the requested variances are not the minimum needed to grant relief.

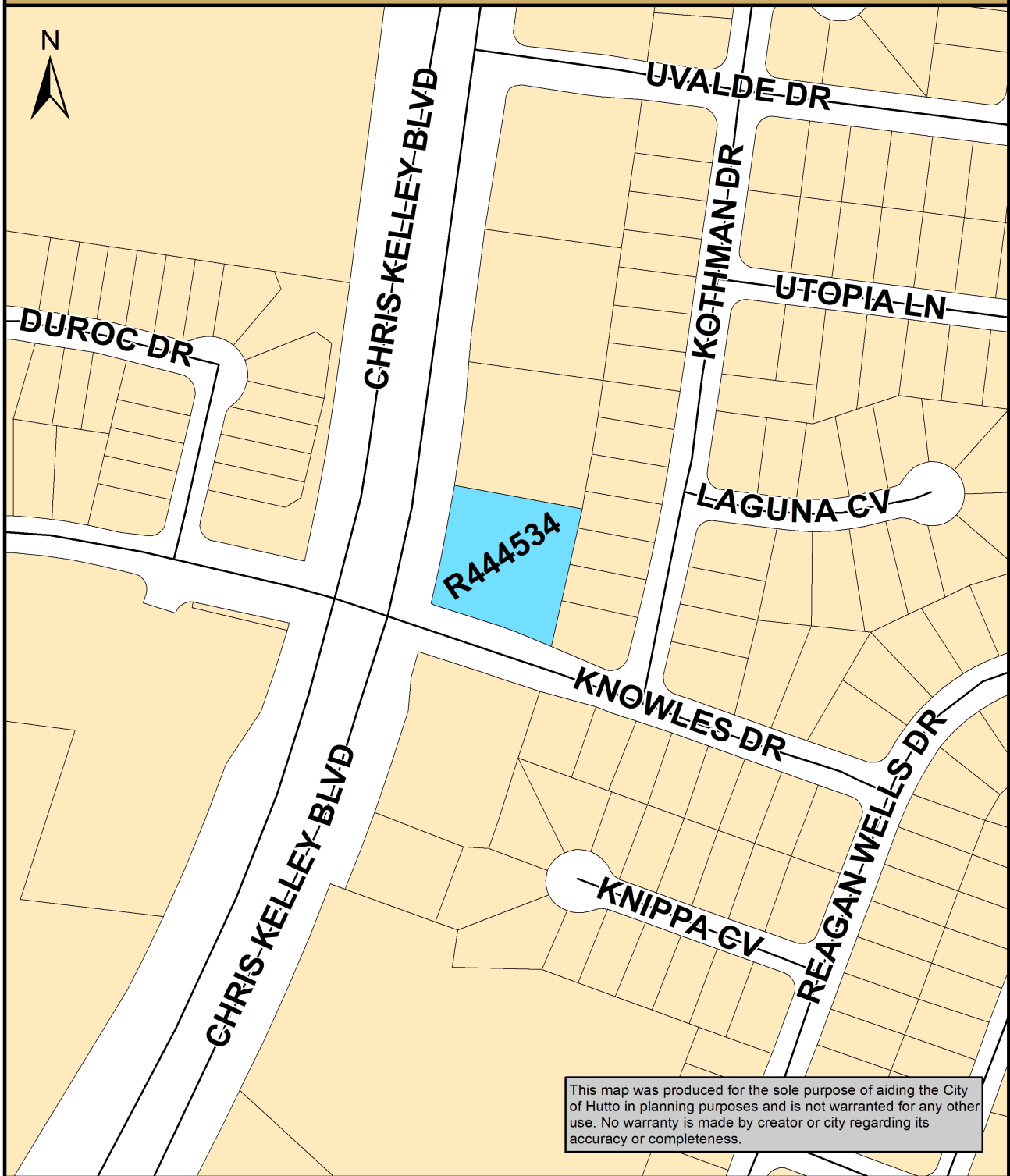
RECOMMENDATION:

Staff finds that the requested variance does not present a unique or undue hardship. The requested variance is recommended denial by staff for lack of an undue hardship. The applicant has shown that a product that is code compliant can be constructed on the site.

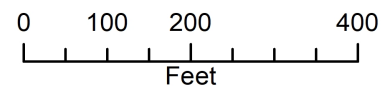
ATTACHMENTS:

[1500KnowlesDrive\(ZBAPacketDocs\)FINAL](#)

1500 Knowles Drive



Map Document: (K:\SITE LOCATION MAPS\2019 Site Location
Maps\The_Enclave_at_Brushy_Creek\1500_Knowles_Drive.mxd)
8/5/2019 -- 8:42:15 AM



CITY OF HUTTO WEBSITE NOTICE OF A PUBLIC HEARING

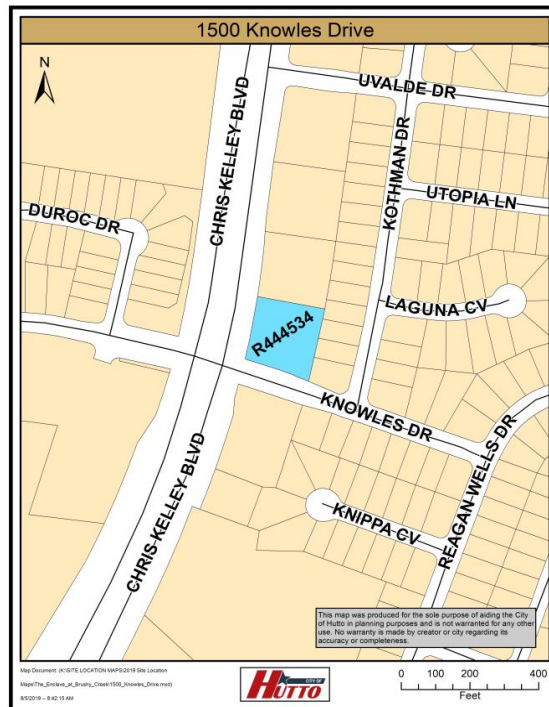
NOTICE IS HEREBY GIVEN TO ALL INTERESTED PERSONS THAT THE HUTTO ZONING BOARD OF ADJUSTMENT WILL HOLD A PUBLIC HEARING REGARDING:

A variance request for the property located at **1500 Knowles Drive** from the bufferyard requirements as outlined in Section 10.403.6.3 of the Unified Development Code (UDC).

A public hearing will be held on August 28, 2019 at 7:00 p.m.

Hutto City Hall
500 W. Live Oak St., Hutto, Texas

For additional information the public may contact Development Services at 512-759-3479 or planning@huttotx.gov



July 31th, 2019

City of Hutto
500 W. Live Oak St.
Hutto, TX 78634

Received 8/1/19



RE: KFC- Hutto, TX
1500 Knowles Drive

To whom it may concern,

We are requesting variance approval to forgo the 6'+ masonry fence requirement along the east property line of the KFC development at 1500 Knowles Drive. Per Unified Development Code requirements, a buffer yard is required along the east property line of the KFC site (zoned B-2) and the adjacent residential property (zoned SF-1). The section in the Unified Development Code that is being reference is section 10.403.6.3 (C):

- A 30-foot-wide planting area, or a 25-foot-wide planting area plus a 6 feet tall masonry wall;
- 2 native tall trees and 1 native small tree per every fifty linear feet of buffer yard;
- For buffer yards where the optional 6-foot-tall masonry wall is not provided, a continuous landscape hedge not less than 3 feet in height.

As the KFC site is designed, in coordination with planning staff, a total 26' of buffer yard is provided, refer to sheet A0.0. Through the center of the buffer yard is an existing 25' wide access drive connecting the adjacent north commercial property to Knowles Drive. Including the existing access drive, the back-of-curb at the drive-thru lane sets approximately 51'-0" from the east property line, which far exceeds buffer yard distance requirements. In coordination with planning staff we have increased landscaping to include dense buffer plantings on both sides of the existing access drive to achieve the 25' total buffer yard requirement.

In addition to the increased number of plantings and existing site conditions we feel that the masonry fence is an excessive requirement to achieve buffer requirements. All adjacent residential properties east of the proposed KFC property have a 6' tall wood fence already constructed at the property line. An additional masonry screen wall on the other side of the property line will create an unsafe and trash collecting zone. Additionally, with the existing wood fence already in place the double fences would only be screening one another.

In conclusion, we are asking for staff approval to eliminate the construction of the masonry fence along the east edge of the property. With the continuous row of hedges and additional landscaping on both sides of the existing access drive we feel that UDC requirements for buffering is adequately provided without the additional cost burden and redundancy of the masonry fence. Please accept our site design variance request for approval. If there are any questions or further clarifications required, please do not hesitate to contact my office.

Sincerely,

A handwritten signature in black ink, appearing to read "J. Phillips".

Johnathon Phillips
davidson architecture & engineering



August 5, 2019

City of Hutto
500 W. Live Oak St.
Hutto, TX 78634

Received 8/5/19



RE: KFC- Hutto, TX
1500 Knowles Drive

To whom it may concern,

1. There are unique conditions peculiar to the parcel, such as an unusual shape, that does not exist on adjacent parcels.

Previously constructed on this parcel is an existing 25' wide access drive through the site, which connects the adjacent north commercial property to Knowles drive. The existing drive is located approximately 16' from the east property line and limits the amount of green space to meet buffer requirements. The remainder of the site design for the KFC building is condensed as much as possible, while still meeting ordinance requirements. Overall the drive-thru lane is designed to set 51'-0" from the east property line, which incorporates 26'-0" of landscaping buffer.

2. Strict application of the UDC deprives the applicant of rights commonly enjoyed by other land in the area or land with a similar zoning designation.

The adjacent residential properties east of the proposed KFC parcel have all constructed a 6'-0" tall wood fence at the property line already. Construction of the masonry screen wall on the other side of the property line is redundant and will create maintenance and safety issues moving forward. Additionally, the masonry fence will create an unnecessary cost burden in combination with the increased landscaping quantities incorporated in the 26' landscaping buffer provided.

3. The variance is in harmony with the spirit of the UDC and the community, neighborhood and other applicable land use and development plans, and will not adversely affect property near the subject site.

The site design of the KFC parcel follows the requirements of the UDC and will be respectable of the community and residential area it resides in. The 26'-0" landscaping buffer yard in combination with the adjacent property owners 6'-0" tall wood fence provides efficient privacy between the residential area and the KFC property.

4. Conditions resulting in the request are not self-created by disregard or ignorance of the UDC.

The site design adequately meets the Unified Development Code 10.403.6.3 (C). The design includes a 26'-0" buffer yard, 2 native tall trees and 1 native small tree per every fifty linear feet of buffer yard and a landscaped hedge not less than 3 feet in height. As well as increased landscaping to include dense buffer plantings on both sides of the existing access drive to achieve the 25'-0" total buffer yard requirement. Additionally, the combination of the 6'-0" tall wood fence on the adjacent properties provides the required privacy between properties.



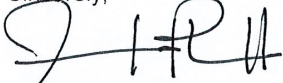
5. The variance does not confer special privilege that the UDC does not permit on other lands, structures or buildings in the same zoning district.

A variance to eliminate the 6'-0" tall masonry fence does not impose special privilege of the UDC and follows the requirements of section 10.403.6.3 (C). There is already a 6'-0" tall wood fence on the residential property line and adding an additional masonry fence will result in ongoing safety and maintenance issues.

6. The variance is the minimum necessary to grant relief.

With the continuous row of hedges and additional landscaping on both sides of the existing access drive we feel that UDC requirements for buffering is adequately provided without the additional cost burden and redundancy of the masonry fence.

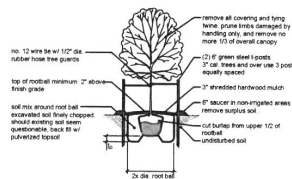
Sincerely,



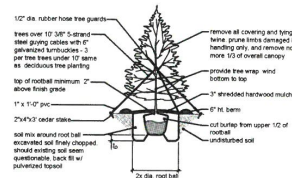
Jonathon Phillips
davidson architecture & engineering

Received 8/5/19

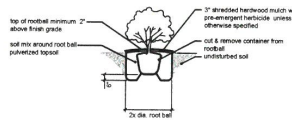




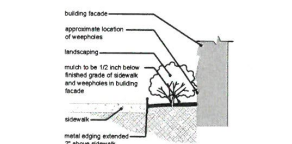
2 deciduous tree planting detail
not to scale



3 | evergreen tree planting detail



4 | shrub planting detail
not to scale



5 | edging detail
not to scale

	ITEM	QTY	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION
TREES	LO	7	LIVE OAK	QUERCUS VIRGINIANA	7' CAL
	OE	8	CEDAR ELM	ULMUS CRASSIFOLIA	7' CAL
	YH	15	YALPOU HOLLY	ILEX VOMITORIA	7' CAL
	TP	5	TEXAS PISTACHE	PISTACIA TEXANA	2' CAL
	GA	12	GLOSSY ABELIA	ABELIA GRANDIFLORA	3/5 GALLON
SHRUBS	DH	12	DWARF BURFORD HOLLY	ILEX CORNUTA ROTUNDA BURFORDI	3/5 GALLON
	NF	16	NANDINA FIREPOWER	NANDINA DOMESTICA FIREPOWER	3/5 GALLON
	LT	50	LITLIFYR	LIRIODIE SPICATA	1 GALLON
	FG	87	FOUNTAIN GRASS	PENNISETUM ALPELUCOREUS LITTLE BUNNY	1 GALLON

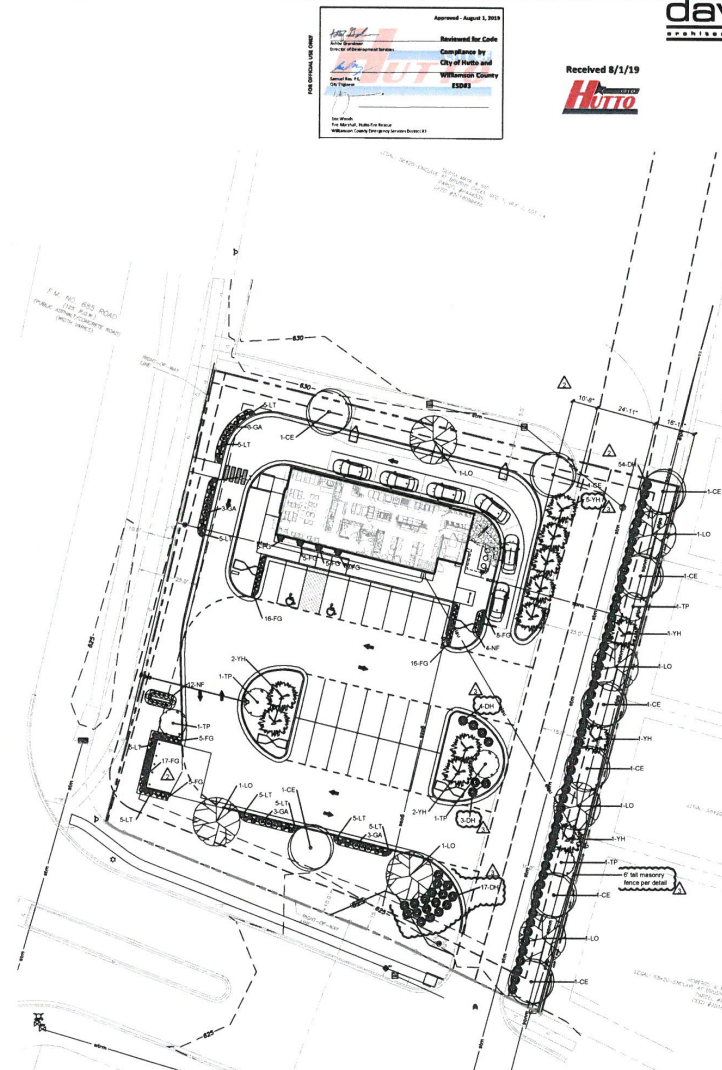
Landscaping Notes

General Landscaping Notes

- [illegible]

Landscaping Requirements

- [illegible]

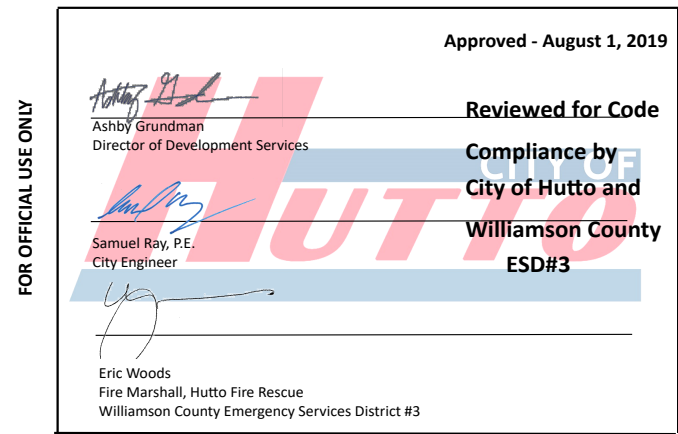
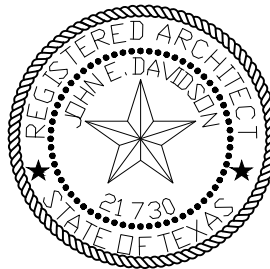


1 | Landscape Plan
scale: 1" = 20'-0"

a new restaurant for
KFC
1500 Knowles Dr
Hutto, Texas 78634

data	
04.16.2019	
drawn by	
DAE	
checked by	
DAE	
revisions	
	△
06.05.2019	1
07.10.2019	2
07.30.2019	3

sheet number
L0.1
drawing type
permit
project number
19028



Received 8/1/19



Legal Description

Lot C3, Block J, the enclave at brushy creek section 1, A subdivision in Williamson County, Texas, according to the plat recorded in cabinet Y, slides 67, 68, 69, 70 & 71 of plat records, Williamson county, Texas, save and except approximately 2,270 square feet of land condemned by the state of Texas for the right of way of FM 685 (NKA Chris Kelley Boulevard) as more particularly described in the judgement recorded in document no. 2013067317, official public records, Williamson County, Texas.

Project Synopsis

Governing Municipality: Hutto, TX

Governing Code: 2009 International Building Code / 2009 International Fire Code

Applicant: Johnathon Phillips
Davidson Architecture & Engineering
4301 Indian Creek Parkway
Overland Park, Kansas 66207
p:913.451.9390

Owner: Plaza Street Hutto 68, LLC
2400 West 75th Street
Prairie Village, Kansas 66208

Civil Engineer: Hilary Zerr, PE
Davidson Architecture & Engineering
4301 Indian Creek Parkway
Overland Park, Kansas 66207
P: 913.451.9390 F: 913.451.9391

Zoning: B2

Site Area: 39,906 sq. ft., +/- 0.916 acres

Building Area: 2,100 sq. ft.

Proposed Imperv. Area: 24,943 sq. ft. (0.573 acres) 62.5%
Proposed Green Space: 14,963 sq. ft. (0.344 acres) 37.5%

Parking: 1 space/ 150 sq. ft. of building area @ 2,100 sq. ft. = 14 spaces required (min)
1 space/ 75 sq. ft. of building area @ 2,100 sq. ft. = 28 spaces required (max)
22 spaces provided

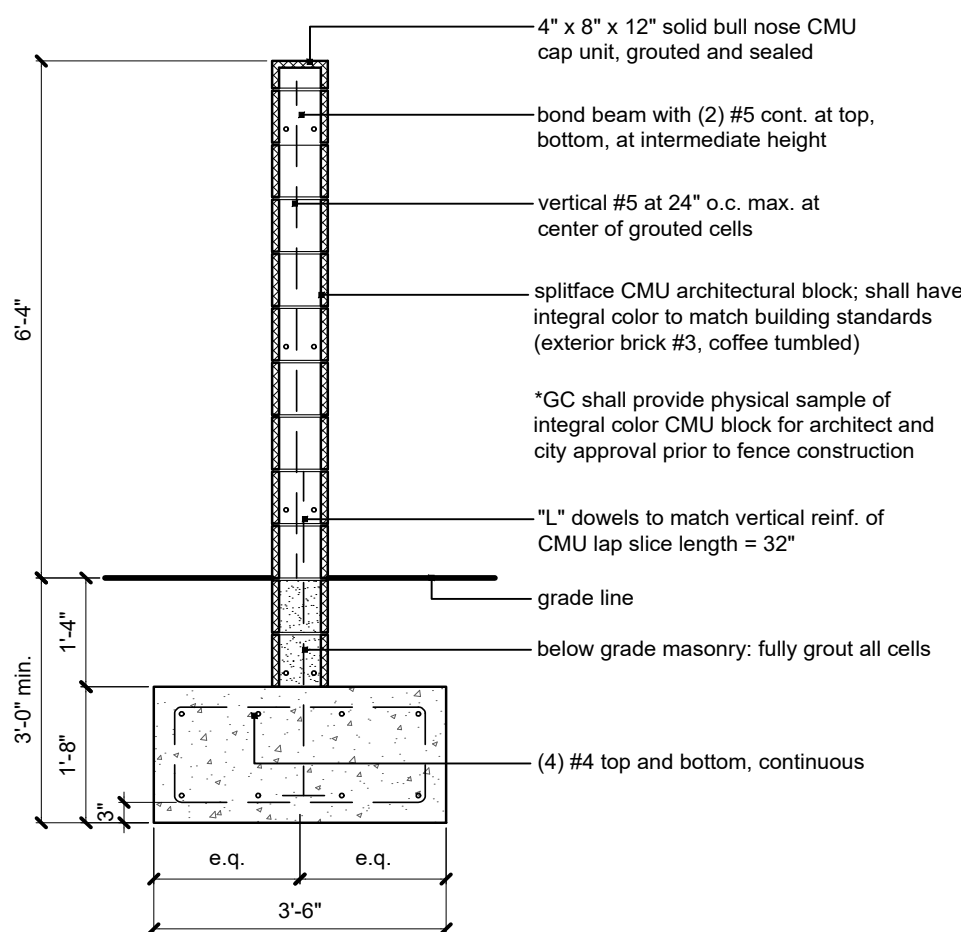
Bike Parking: 1 space per 20 parking spaces @ 22 = 2 bike spaces required
2 bike spaces provided

General Notes

- All construction shall conform to the standards and specifications of Hutto, TX.
- The general contractor shall contact all utility companies prior to the start of construction and verify the location and depth of any utilities that may be encountered during construction.
- The contractor shall field verify exist. surface & subsurface ground conditions prior to start of construction.
- Slopes shall maintain a maximum 3:1 slope.
- The contractor shall be responsible for obtaining all required permits, paying all fees, and otherwise complying with all applicable regulations governing the project.
- Place silt fence per civil for erosion control.
- Provide a temporary gravel access drive to prevent mud from being deposited onto the adjacent road.
- Prior to installing any structure on a public storm sewer, the contractor shall submit shop drawings for the structure(s). Installation shall not occur until drawings have been approved by public works.
- Prior to installing, constructing, or performing any work on the public storm sewer line (including connecting private drainage to the storm system) contact the city for inspection of the work. Contact must be made at least 48 hours prior to the start of work.
- Connections to the public storm sewer between structures will not be permitted.
- All exterior utility services shall be painted to match the primary building color.
- Prior to final inspection, the general contractor shall meet with the City of Hutto Fire Department to designate fire lane and fire lane sign locations to be installed per Fire Department direction and requirements.
- A Knox Box will be installed on the front of the building facing the street or road.
- Caulk joint at perimeter of building around sidewalk. Color to match building colors. GC shall take care not to seal any exterior finish drainage elements.
- No construction involving combustible materials can take place until access roads and fire hydrants are installed and operational.
- No overhead obstructions shall be lower than 13 feet 6 inches.
- All approved fire apparatus access roads will be capable of supporting the imposed load of a fire trucking weighing at least 75,000 pounds.

Construction Notes

- Pylon / monument sign, sign and footing by signage supplier, run electrical per electrical site plan.
- KFC "Do Not Enter"/"Thank You" directional sign.
- drive thru menu board, see detail 6/A0.3 for exact location.
- speaker box w/ canopy, see detail 6/A0.3 for exact location.
- vertical clearance bar.
- trash enclosure per details 2-5/A0.3.
- ADA parking stall per details on sheet A0.2.
- 4" white striping typ.
- light pole and base per electrical drawings.
- white thermoplastic directional markings per detail 6/A0.2.
- asphalt parking to meet geotech specifications.
- conc. curb and gutter per civil.
- Handicapped accessible rout per civil.
- Handicapped parking sign per detail 6/A0.2.
- Concrete drive per civil.
- Existing access drive to remain.
- 6" red fire lane striping. The words "FIRE LANE - TOW AWAY ZONE" shall appear in 4" white letters intervals not exceeding 35' on the red border markings along both sides of the fire lanes. Where a curb is available, the striping can be on the road surface next to the curb or be placed on the curb top and curb face with the wording on the vertical face of the curb. GC shall coordinate exact location of striping with Fire Marshal.
- Furnish and install continuous tubular steel ribbon bike rack to hold minimum 2 bikes.
- Furnish and install 6'-0" min. height masonry fence to extend approximately 221' per detail.



2 masonry fence detail
scale: 1/2" = 1'-0"

Chris Kelley Blvd.
(FM 685)

Knowles Drive

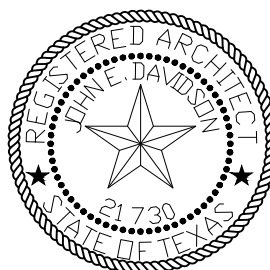
1 Site Plan
scale: 1" = 20'-0"



a new restaurant for
KFC
1500 Knowles Dr
Hutto, Texas 78634

date
04.16.2019
drawn by
DAE
checked by
DAE
revisions
06.05.2019 1
07.10.2019 2
07.30.2019 3

sheet number
A0.1
drawing type
permit
project number
19028



HUTTO CITY OF

Lot C3, Block J, the enclave at brushy creek section 1. A subdivision in Williamson County, Texas, according to the plat recorded in cabinet Y, slides 67, 68, 69, 70 & 71 of plat records, Williamson county, Texas, save and except approximately 2,270 square feet of land condemned by the state of Texas for the right of way of FM 685 (N/K/A Chris Kelley Boulevard) as more particularly described in the judgement recorded in document no. 2013067317, official public records, Williamson County, Texas.

Governing Municipality: Hutto, TX

Governing Code: 2009 International Building Code / 2009 International Fire Code

Applicant: Johnathon Phillips
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Zoning: 82

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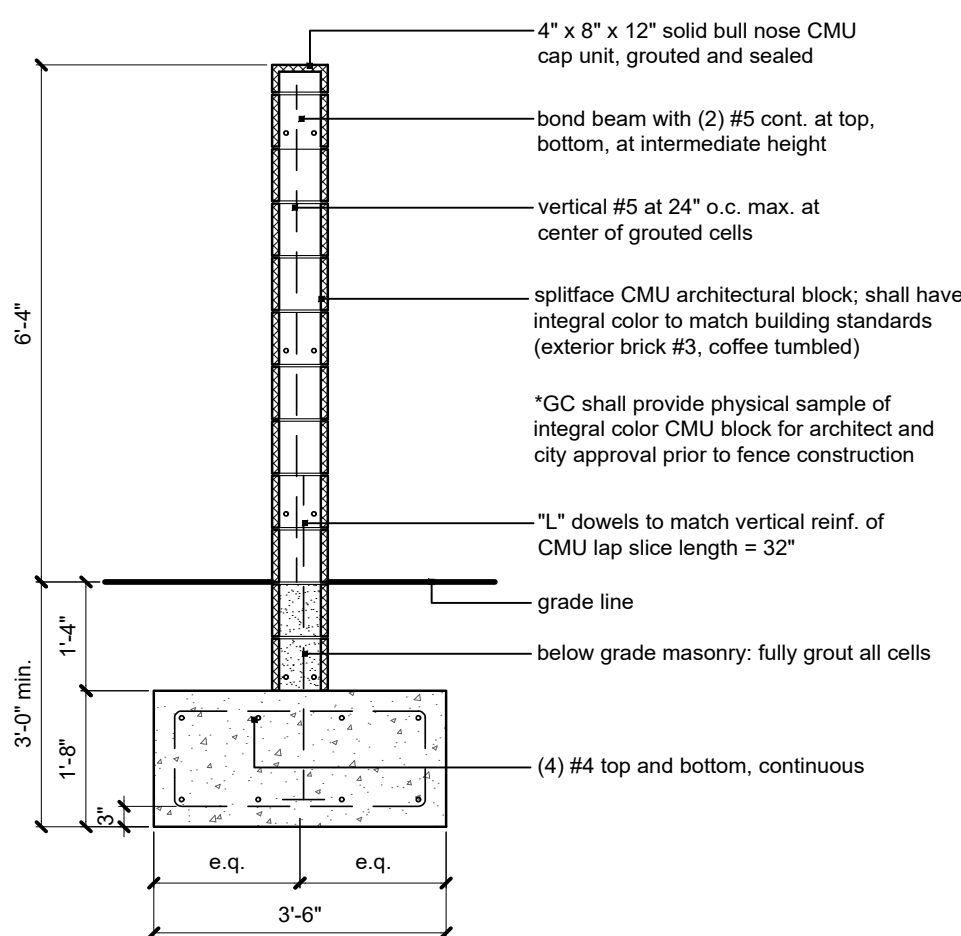
	Proposed Imperv. Area: 24,943 sq. ft. (0.573 acres)	62.5%
	Proposed Green Space: 14,963 sq. ft. (0.344 acres)	37.5%

Parking: 1 space/ 150 sq. ft. of building area @ 2,100 sq. ft. = 14 spaces required (min)
1 space/ 75 sq. ft. of building area @ 2,100 sq. ft. = 28 spaces required (max)
22 spaces provided

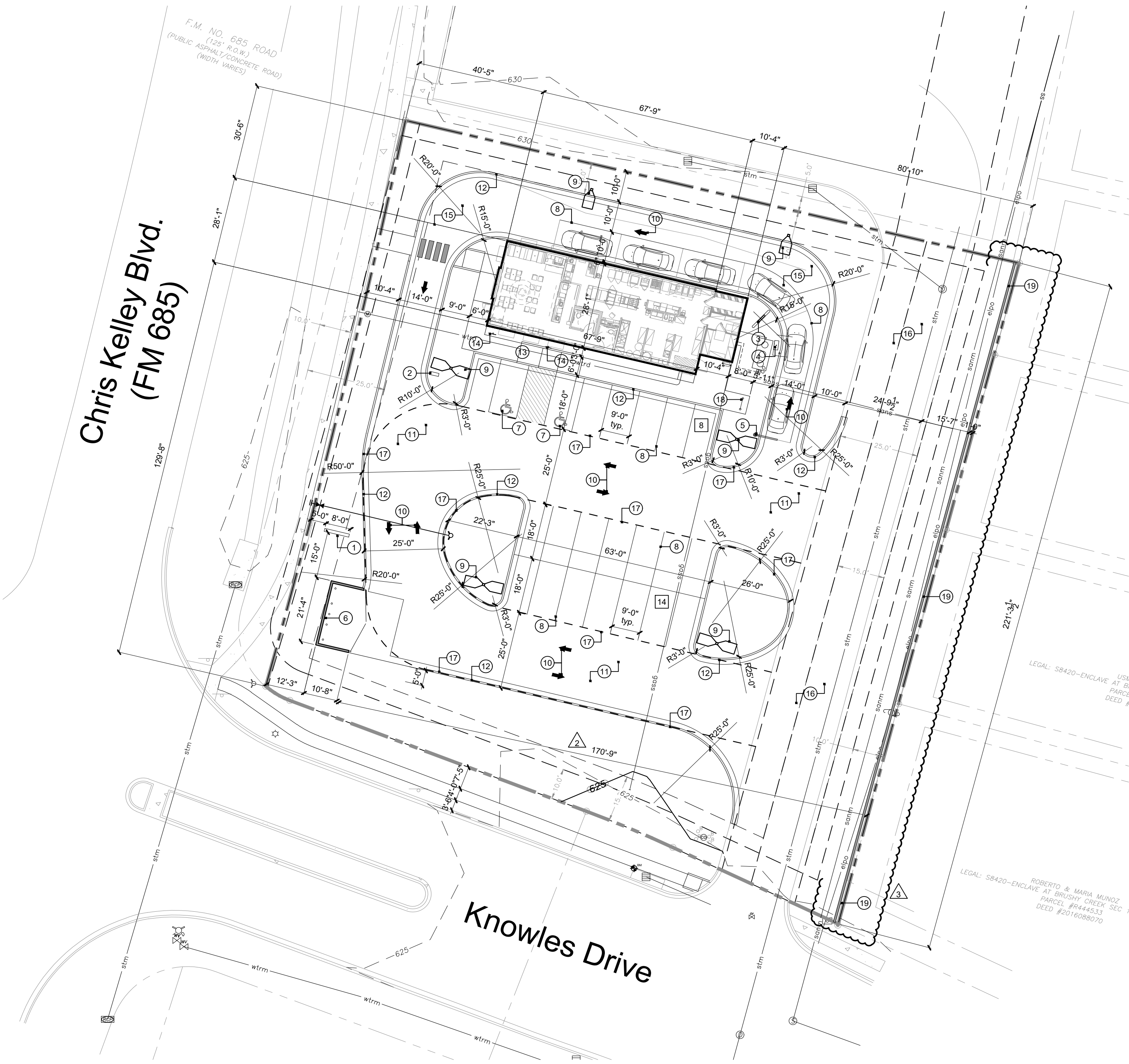
Bike Parking: 1 space per 20 parking spaces @ 22 = 2 bike spaces required
2 bike spaces provided

- All construction shall conform to the standards and specifications of Hutto, TX.
- The general contractor shall contact all utility companies prior to the start of construction and verify the location and depth of any utilities that may be encountered during construction.
- The contractor shall verify wet/dry exist, surface & subsurface ground conditions prior to start of construction.
- Slopes shall maintain a maximum 3:1 slope.
- The contractor shall be responsible for obtaining all required permits, paying all fees, and otherwise complying with all applicable regulations governing the project.
- Place fill surface per civil for erosion control.
- Prior to installing a trench, grout access pipe to prevent mud from being deposited onto the adjacent road.
- Prior to installing any structure on a public storm sewer, the contractor shall submit shop drawings for the structure(s). Installation shall not occur until drawings have been approved by public works.
- Prior to installing, constructing, or performing any work on the public storm sewer line (including but not limited to the installation of a manhole) the contractor shall call the city for inspection of the work. Contact must be made at least 48 hours prior to the start of work.
- Connections to the public storm sewer between structures will not be permitted.
- Prior to installing utility services shall be installed in the primary building.
- Prior to final inspection, the general contractor shall meet with the City of Hutto Fire Department to designate fire lane and fire lane sign locations to be installed per Fire Department direction and requirements.
- A Knox Box will be installed on the front of the building facing the street or road.
- Caulk joint at perimeter of building around sidewalk. Color to match building colors. GC shall take care not to seal any other exterior finish drainage elements.
- No construction involving combustible materials can take place until access roads and fire hydrants are installed and operational.
- No overhead obstructions shall be lower than 13 feet 6 inches.
- All imposed live loads on access roads will be capable of supporting the weight of a fire truck weighing at least 75,000 pounds.

1. Pylon/ On Monument sign, sign and footing by signage supplier, run electrical per electrical site plan.
2. KFC- Do Not Enter/Thank You directional sign.
3. Active turn menu board, see detail 9/A0.3 for exact location.
4. speaker box w/ canopy, see detail 9/A0.3 for exact location.
5. vertical clearance bar
6. trash enclosure per details 2-5/A0.3
7. ADA parking stall per details on sheet A/0.2.
8. 4" white striping.
9. light pole and base per electrical drawings.
10. White thermoplastic directional markings per detail 9/A0.2.
11. asphalt parking to meet geotech specifications.
12. conc. curb and gutter per detail.
13. Handicapped accessible ramp face with the following:
 - 1. Handicapped parking sign per detail 8/A0.2.
 - 2. Concrete drive per sign.
 - 3. Existing access drive to remain.
 - 4. 6" red fire lane striping.
14. The words "FIRE LANE - TOW AWAY ZONE" shall appear in 4" white letters intervals not exceeding 35" on the border markings along both sides of the fire lane. Where a curb is available, the striping can be on the road surface next to the curb or be placed on the curb face with the wording on the vertical face of the curb. GC shall coordinate exact location of striping with Fire Marshal.
15. Fire and metal continuous tubular steel roadway bike rack to hold minimum 2 bikes.
16. Fire and metal 6' x 6' post, height minimum fence to extend approximately 22" per detail.



2 masonry fence detail



1 Existing Site Plan

scale: 1" = 20'-0"



KFC
11500 Knowles Dr
Hutto, Texas 78634

date	
04.16.2019	
drawn by	
DAE	
checked by	
DAE	
revisions	
06.05.2019	1
07.10.2019	2
07.30.2019	3

sheet number

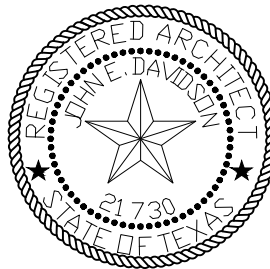
A0.1

drawing type
permit
project number
19028

Received 8/1/19



4301 Indian Creek Parkway
Overland Park, KS 66207
phone: 913.451.9390
fax: 913.451.9391
www.davidsonae.com



Legal Description

Lot C3, Block J, the enclave at brushy creek section 1, A subdivision in Williamson County, Texas, according to the plat recorded in cabinet Y, slides 67, 68, 69, 70 & 71 of plat records, Williamson county, Texas, save and except approximately 2,270 square feet of land condemned by the state of Texas for the right of way of FM 685 (NKA Chris Kelley Boulevard) as more particularly described in the judgement recorded in document no. 2013067317, official public records, Williamson County, Texas.

Project Synopsis

Governing Municipality: Hutto, TX
Governing Code: 2009 International Building Code / 2009 International Fire Code
Applicant: Johnathon Phillips
Davidson Architecture & Engineering
4301 Indian Creek Parkway
Overland Park, Kansas 66207
p:913.451.9390
Owner: Plaza Street Hutto 68, LLC
2400 West 75th Street
Prairie Village, Kansas 66208
Civil Engineer: Hilary Zerr, PE
Davidson Architecture & Engineering
4301 Indian Creek Parkway
Overland Park, Kansas 66207
P: 913.451.9390 F: 913.451.9391
Zoning: B2
Site Area: 39,906 sq. ft., +/- 0.916 acres
Building Area: 2,100 sq. ft.
Proposed Imperv. Area: 24,943 sq. ft. (0.573 acres) 62.5%
Proposed Green Space: 14,963 sq. ft. (0.344 acres) 37.5%
Parking: 1 space/ 150 sq. ft. of building area @ 2,100 sq. ft. = 14 spaces required (min)
1 space/ 75 sq. ft. of building area @ 2,100 sq. ft. = 28 spaces required (max)
22 spaces provided
Bike Parking: 1 space per 20 parking spaces @ 22 = 2 bike spaces required
2 bike spaces provided

General Notes

- All construction shall conform to the standards and specifications of Hutto, TX.
- The general contractor shall contact all utility companies prior to the start of construction and verify the location and depth of any utilities that may be encountered during construction.
- The contractor shall field verify exist. surface & subsurface ground conditions prior to start of construction.
- Slopes shall maintain a maximum 3:1 slope.
- The contractor shall be responsible for obtaining all required permits, paying all fees, and otherwise complying with all applicable regulations governing the project.
- Place silt fence per civil for erosion control.
- Provide a temporary gravel access drive to prevent mud from being deposited onto the adjacent road.
- Prior to installing any structure on a public storm sewer, the contractor shall submit shop drawings for the structure(s). Installation shall not occur until drawings have been approved by public works.
- Prior to installing, constructing, or performing any work on the public storm sewer line (including connecting private drainage to the storm system) contact the city for inspection of the work. Contact must be made at least 48 hours prior to the start of work.
- Connections to the public storm sewer between structures will not be permitted.
- All exterior utility services shall be painted to match the primary building color.
- Prior to final inspection, the general contractor shall meet with the City of Hutto Fire Department to designate fire lane and fire lane sign locations to be installed per Fire Department direction and requirements.
- A Knox Box will be installed on the front of the building facing the street or road.
- Caulk joint at perimeter of building around sidewalk. Color to match building colors. GC shall take care not to seal any exterior finish drainage elements.
- No construction involving combustible materials can take place until access roads and fire hydrants are installed and operational.
- No overhead obstructions shall be lower than 13 feet 6 inches.
- All approved fire apparatus access roads will be capable of supporting the imposed load of a fire trucking weighing at least 75,000 pounds.

Construction Notes

- Pylon / monument sign, sign and footing by signage supplier, run electrical per electrical site plan.
- KFC "Do Not Enter"/"Thank You" directional sign.
- drive thru menu board, see detail 6/A0.3 for exact location.
- speaker box w/ canopy, see detail 6/A0.3 for exact location.
- vertical clearance bar.
- trash enclosure per details 2-5/A0.3.
- ADA parking stall per details on sheet A/0.2.
- 4" white striping typ.
- light pole and base per electrical drawings.
- white thermoplastic directional markings per detail 6/A0.2.
- asphalt parking to meet geotech specifications.
- conc. curb and gutter per civil.
- Handicapped accessible rout per civil.
- Handicapped parking sign per detail 6/A0.2.
- Concrete drive per civil.
- Existing access drive to remain.
- 6" red fire lane striping. The words "FIRE LANE - TOW AWAY ZONE" shall appear in 4" white letters intervals not exceeding 35' on the red border markings along both sides of the fire lanes. Where a curb is available, the striping can be on the road surface next to the curb or be placed on the curb top and curb face with the wording on the vertical face of the curb. GC shall coordinate exact location of striping with Fire Marshal.
- Furnish and install continuous tubular steel ribbon bike rack to hold minimum 2 bikes.



1 Proposed Site Plan
scale: 1" = 20'-0"



a new restaurant for
KFC
1500 Knowles Dr
Hutto, Texas 78634

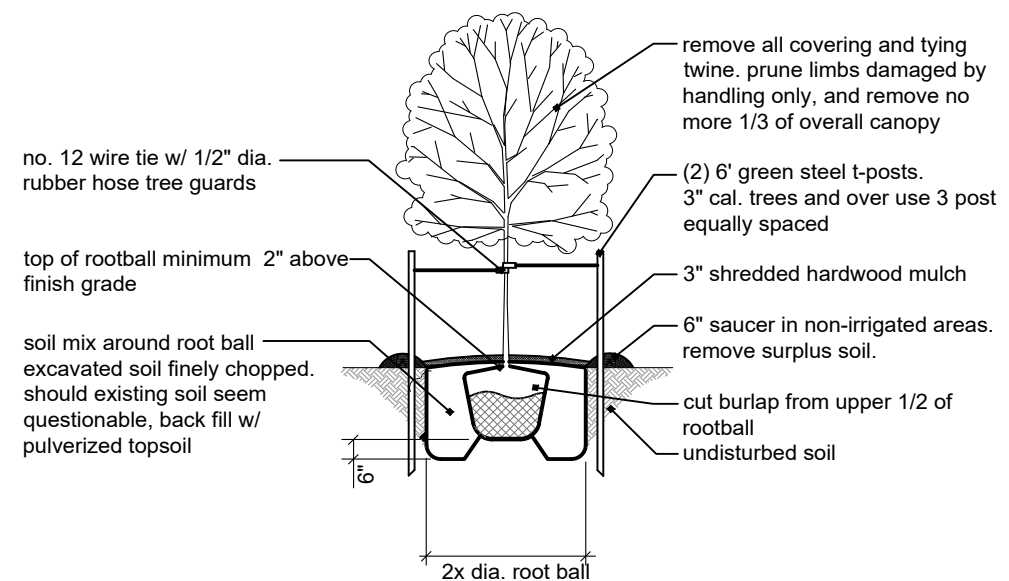
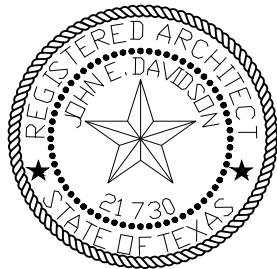
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drawn by
DAE
checked by
DAE
revisions

sheet number
A0.0
drawing type
permit
project number
19028

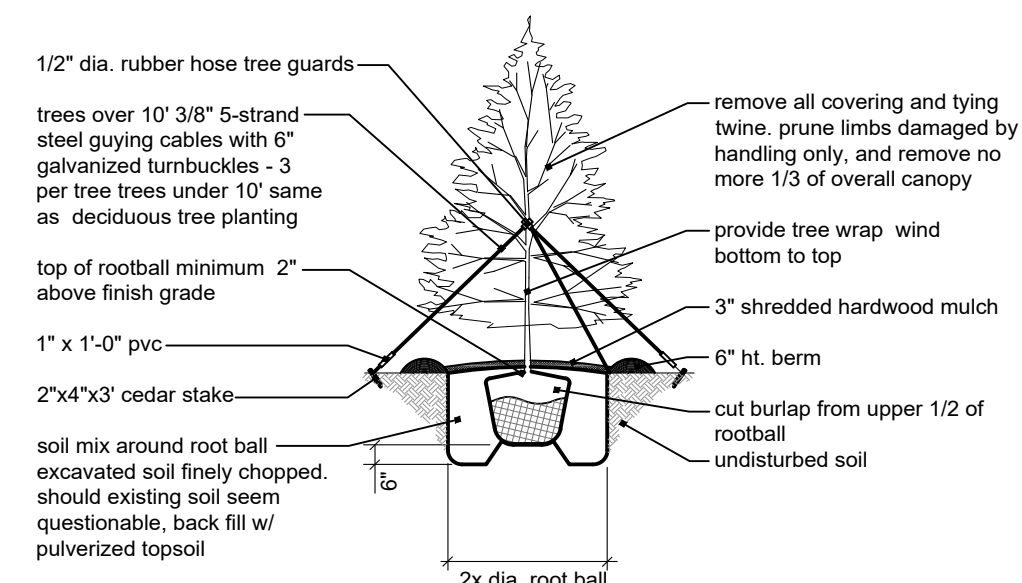
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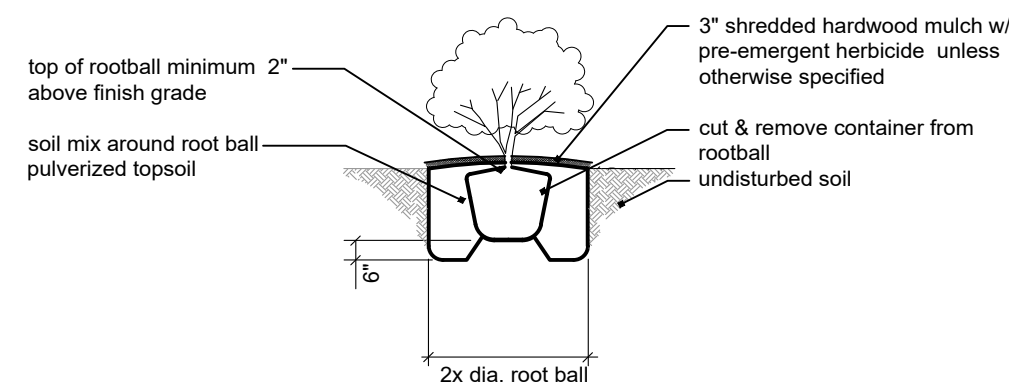
4301 Indian Creek Parkway
Overland Park, KS 66207
phone: 913.451.8380
fax: 913.451.8381
www.davidsonae.com



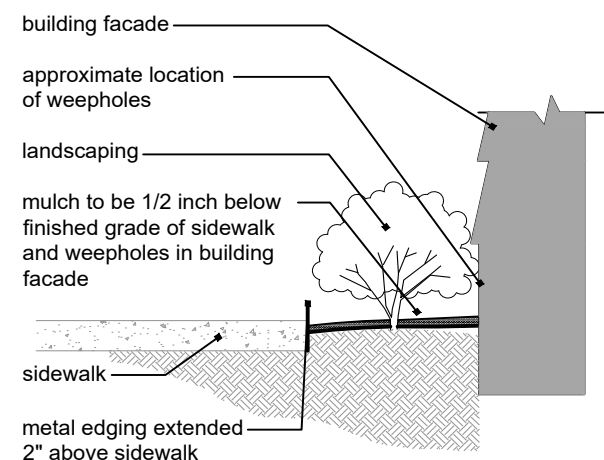
2 deciduous tree planting detail
not to scale



3 evergreen tree planting detail
not to scale



4 shrub planting detail
not to scale



5 edging detail
not to scale

Tree and Shrub Planting List					
	ITEM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION
TREES	LO	7	LIVE OAK	QUERCUS VIRGINIANA	3" CAL.
	CE	9	CEDAR ELM	ULMUS CRASSIFOLIA	3" CAL.
	YH	12	YAUPON HOLLY	LLEX VOMITORIA	2" CAL.
	TP	5	TEXAS PISTACHE	PISTACIA TEXANA	2" CAL.
	GA	12	GLOSSY ABELIA	ABELIA GRANDIFLORA	3-5 GALLON
SHRUBS	DH	76	DWARF BURFORD HOLLY	ILEX CORNUTA ROTUNDA BURFORDII	3-5 GALLON
	NF	16	NANDIA 'FIREPOWER'	NANDINA DOMESTICA 'FIREPOWER'	3-5 GALLON
	LT	50	LILYTURF	LIRIOPE SPICATA	1 GALLON
	FG	87	FOUNTAIN GRASS	PENNELUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON

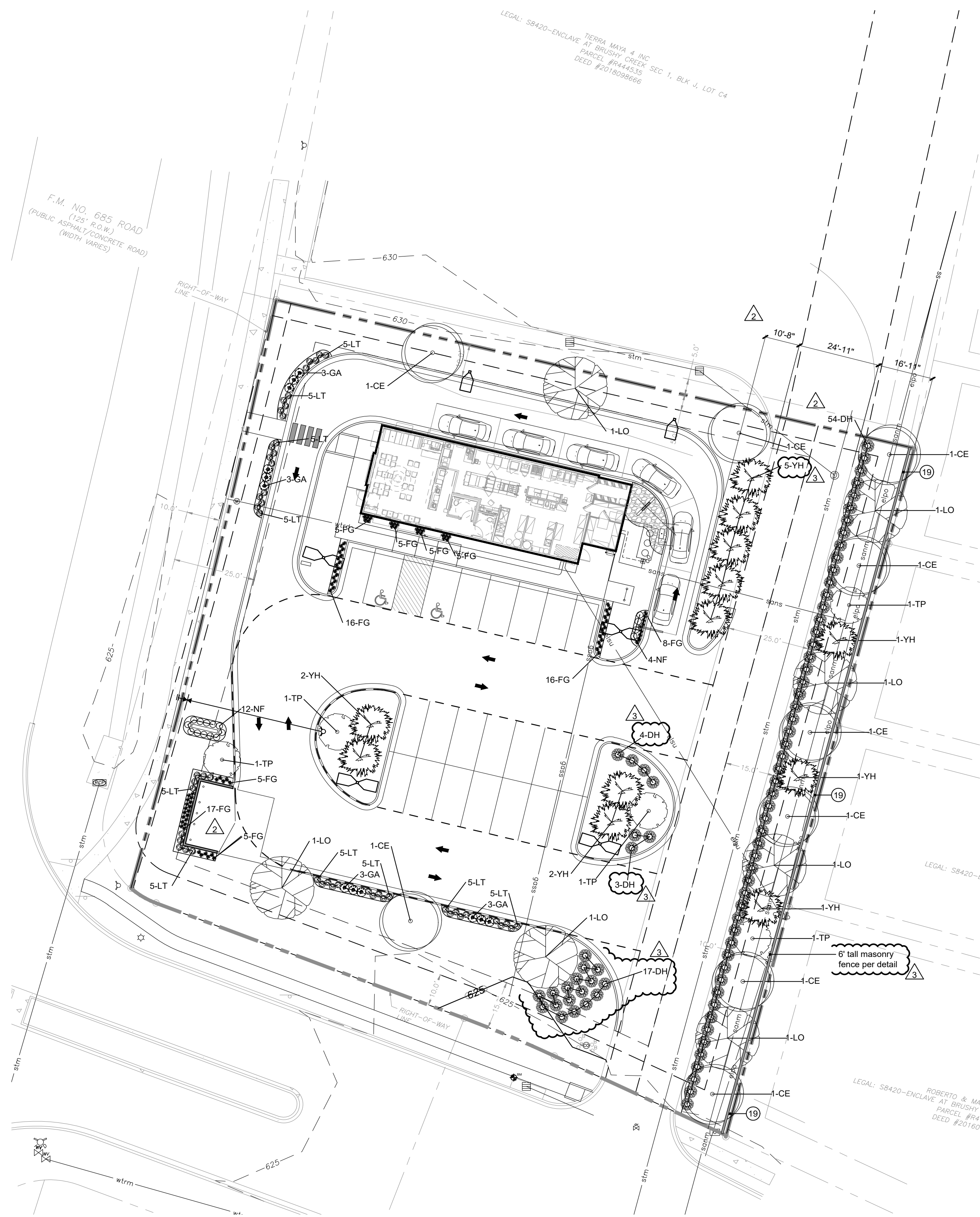
Landscaping Notes

General Landscaping Notes

- Landscaping shall be coordinated with the location of utilities, driveways and traffic clearance zones.
- The contractor doing excavation on public right-of-way shall give 48 hours advance notice to and obtain information from utility companies.
- Prior to commencement of work, the contractor shall notify all those companies which have facilities in the near vicinity of the construction to be performed.
- Existing underground, overhead, utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies to locate their utilities before actual construction.
- Contractor shall verify location of and protect all utilities and structures. Damage to utilities and structures shall be repaired by the contractor to the satisfaction of the owner at no additional expense.
- Entire site to be irrigated by underground system, including right of way as req'd. (limits of sod including all other disturbed area's and all planting beds)
- Irrigation system shall include an automatic rain sensor.
- All landscape materials shall be installed in accordance with the current planting procedures established by the most recent addition of the American Standard for Nursery Stock.
- Trees planted per this plan shall be installed during the spring (march 15 through june 15) or fall (september 15 through december 1).
- Written city approval will be required for planting during other times of the year.
- Stake and guy all trees per planting details.
- Install all shrubs and groundcover per planting details.
- Elevation of top of mulch shall be 1/2" below any adjacent pavement/turf areas.
- Root stimulator shall be applied to the soil backfill of each plant during installation.
- Contractor shall verify all landscape material quantities and shall report any discrepancies immediately to the Landscape Architect.
- Contractor shall stake plant locations in the field and have approval by the Landscape Architect before proceeding with installation.
- Contractor shall guarantee all plant material for a period of one (1) year from date of initial acceptance. Contractor is responsible for maintaining plant material until acceptance is received. Maintenance shall include watering, maintaining plants in vertical position and shrub bed weed control.
- All plant material shall meet or exceed minimum requirements defined by the "American Standard for Nursery Stock" ANSI Z60.1.
- No plant material shall be substituted without written approval of the Landscape Architect per specifications.
- Trees and seasonal color areas shall be mulched with three (3) inches minimum shredded hardwood mulch. Planting beds as delineated shall be separated from pavement/turf areas with metal edging and mulched with three (3) inches minimum shredded hardwood mulch over weed barrier fabric, except where otherwise specified.
- All existing plant material to be retained shall be wrapped with orange, or bright, colored plastic snow fence around base of trees and around all shrubs. Stake to hold in place during construction.
- All shrubs used as parking buffer to be min. 18" tall at planting and maintained 3'-0" max. height. Install plants not to encroach upon cars parked, when at full growth.
- All trees with above a 2" caliper shall be double staked, while smaller trees shall be single staked.
- Ground mechanical and electrical equipment shall be wholly screened from street right-of-way and residential developments.
- Maximum slope shall be not greater than 3 : 1.
- All portions of site not covered by paving, mulch, plantings, etc. are to be sodded. Sod shall extend to all disturbed areas and shall include portions of right of way if necessary. Maintain positive drainage.
- Slightly mound all islands at 1/4" per 12' run.
- Set shrubs a minimum of 3 feet from other site structures - walls, walks or curbs.
- Any stiff branched, fruiting or plants with thorns that can damage vehicles are strictly prohibited.
- Utilize washed river rock cover at all planted areas adjacent to building perimeter and hardwood mulch in planting beds throughout remainder of site, unless noted otherwise.

Landscaping Requirements

- Minimum 15% of the total area being developed shall be landscaped for commercial uses.
 - Total site area = 39,906 sq. ft. x 15% = 5,986 sq. ft. required
 - 14,983 sq. ft. provided
- Landscape areas must consist of at least 10% of the interior space of parking lot.
 - Total parking lot area = 11,938 sq. ft.
 - Total interior landscape areas = 1,380 sq. ft.
 - 1,380 sq. ft. / 11,938 sq. ft. = 11.6% landscaped of the total interior space of parking lot
- Landscape islands of at least 180 sq. ft. must be placed at both ends of a parking row.
- 2 large trees and 4 shrubs per 500 sq. ft. of landscaping shall be provided in required landscaping area. 2 small ornamental trees may be substituted for 1 required large tree, not to exceed 50% of the required large trees.
 - 5,986 sq. ft. / 500 sq. ft. = 12
 - 12 x 2 = 24 large trees required
 - 12 x 4 = 48 shrubs required
- Each development shall provide at least three (3) different species. No more than 50% of all trees, per development shall be of the same species.
- At least seventy-five percent (75%) of the frontage of parking areas, adjacent to a public right-of-way, within the street yard, shall be screened from public streets with evergreen shrubs attaining a minimum height of 3 feet or a low masonry wall or earthen berm of equal height.
- 2 native trees and 1 native small tree for every 50 linear ft. shall be provided for type C buffer yard.
 - 221 linear ft / 50 = 4.42
 - 10 native trees and 5 native small trees required



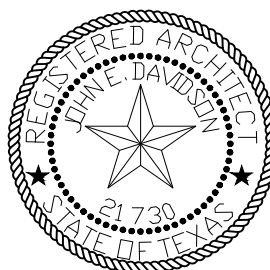
1 Existing Landscape Plan
scale: 1" = 20'-0"



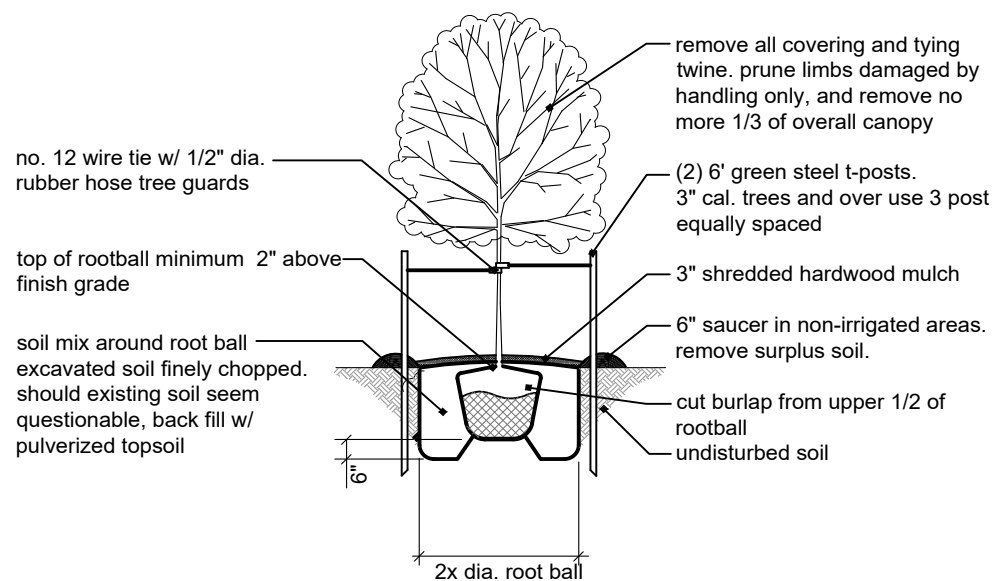
a new restaurant for
KFC
1500 Knowles Dr
Hutto, Texas 78634

date 04.16.2019
drawn by DAE
checked by DAE
revisions
06.05.2019 1
07.10.2019 2
07.30.2019 3

sheet number
L0.1
drawing type permit
project number 19028

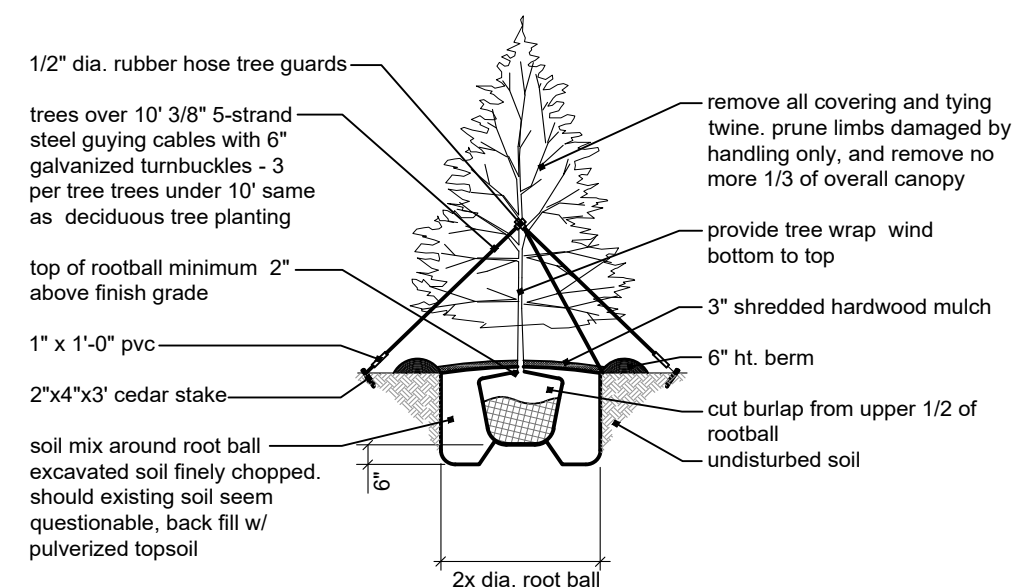


Received 8/1/19



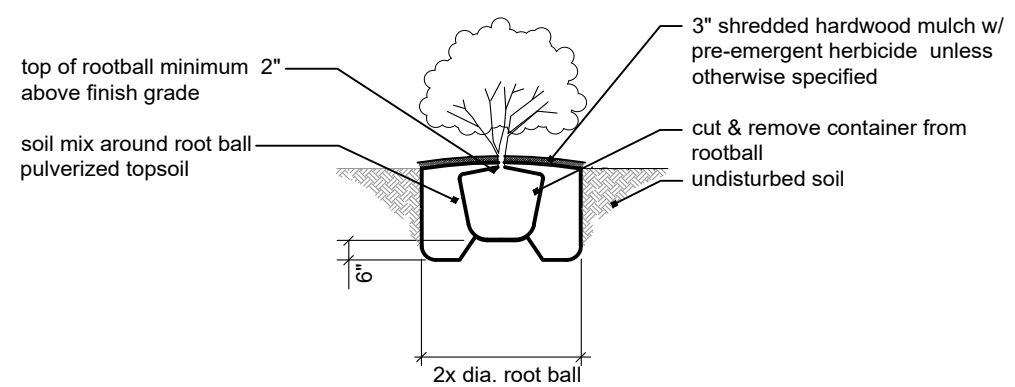
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not to scale



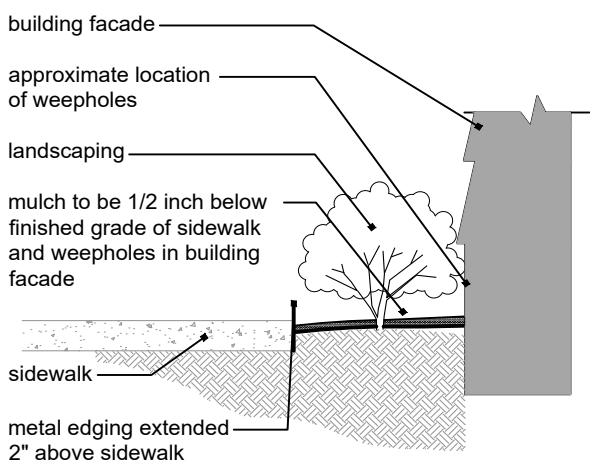
3 evergreen tree planting detail

not to scale



4 shrub planting detail

not to scale



5 edging detail

not to scale

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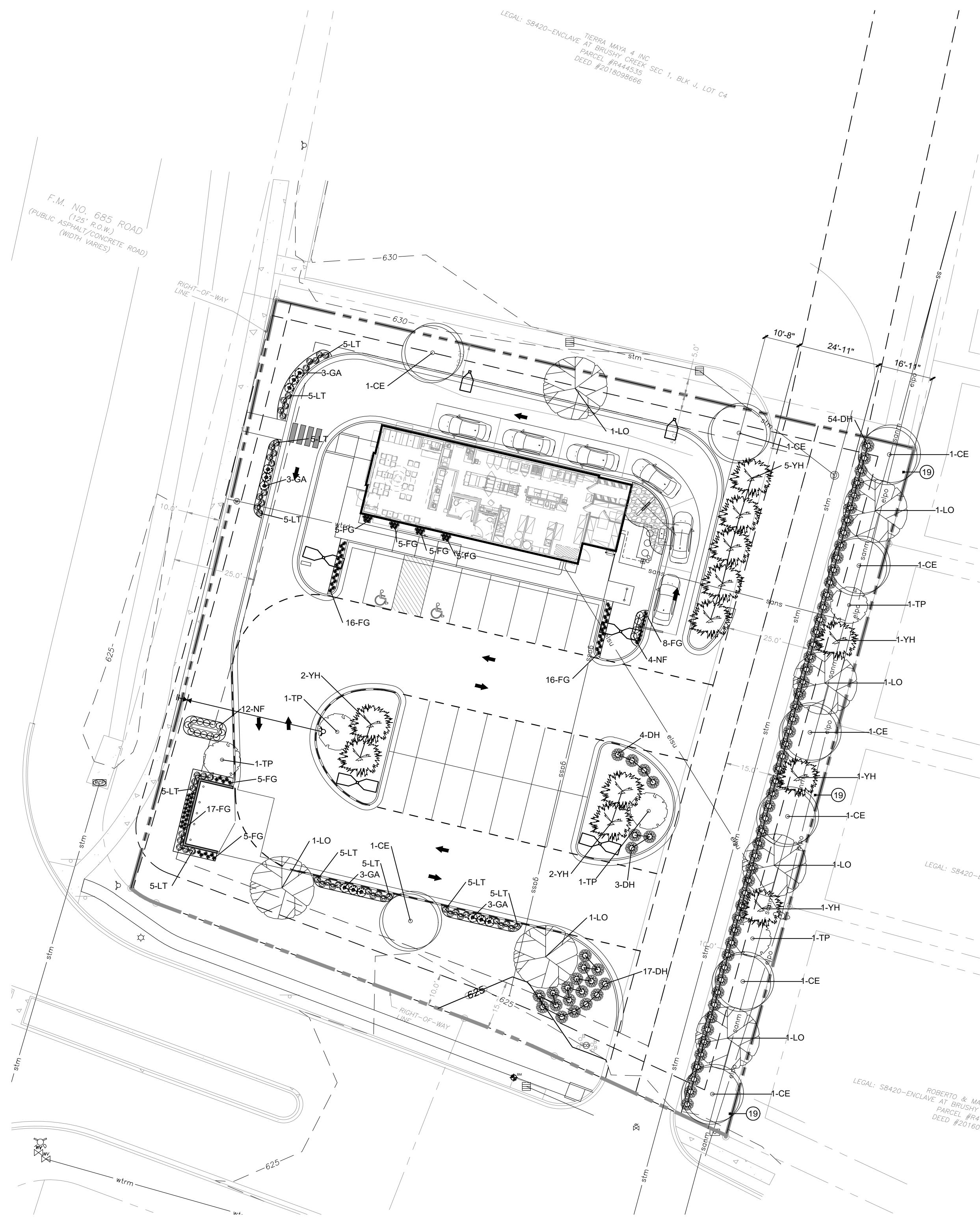
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- Stake and guy all trees per planting details.
- Install all shrubs and groundcover per planting details.
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 - 221 linear ft / 50 = 4.42
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1 Proposed Landscape Plan

scale: 1" = 20'-0"



a new restaurant for

KFC

1500 Knowles Dr
Hutto, Texas 78634

date
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drawn by
DAE
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sheet number

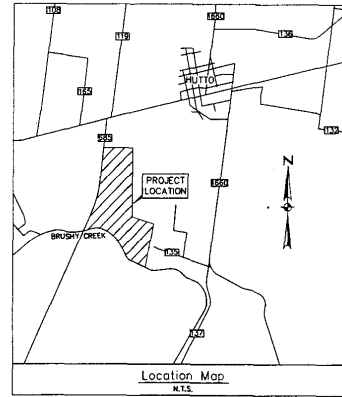
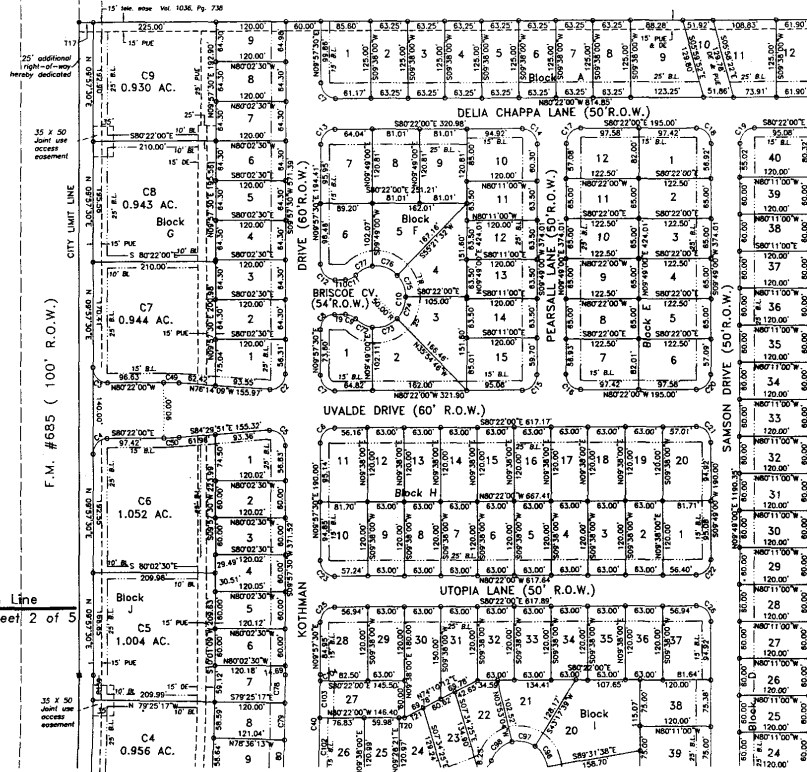
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drawing type
permit
project number
19028

The Enclave at Brushy Creek
Section 1

Ratio 1:10
98.56 Ac.
Volume 228, Page 451

Page 15 of 19



THE ENCLAVE AT BRUSHY CREEK
SECTION 1

OWNER: Endow Equities, Ltd.
8000 Anderson Square Rd.
Austin, TX 78757
979-431-7152

ACREAGE: 100.542

SURVEY: Nathaniel Edwards Survey A-225

NUMBER OF BLOCKS: 9

NUMBER OF LOTS: 219 residential, 9 commercial, 1 park
2 drainage lots 1 public utility lot

LINEAR FEET OF NEW STREET: 10584 LL

DATE: February, 2001

SURVEYOR: Austin Surveyors

ENGINEER: Edmister, Henthorn, Russ
and Associates, Inc.
255 Wild Swan Rd.
Austin, Texas 78746

Sheet 1 of 5

- LEGEND
- Iron pin set
 - Iron pin found
 - Concrete measurement set
 - Concrete measurement found
 - Iron pipe found
 - Fence post found
 - Calculated point
 - Building Line
 - Public Utility Easement
 - Drainage Easement

Job No.	107313	Drawing No.	107313-1
Drawn By	J. Lee	Checked By	J. Lee
Date	January, 2002	Checked Date	1/29/02
Scale	1" = 100'	Drawn Date	1/29/02
Drawn By	J. Lee	Checked By	J. Lee
Date	January, 2002	Checked Date	1/29/02

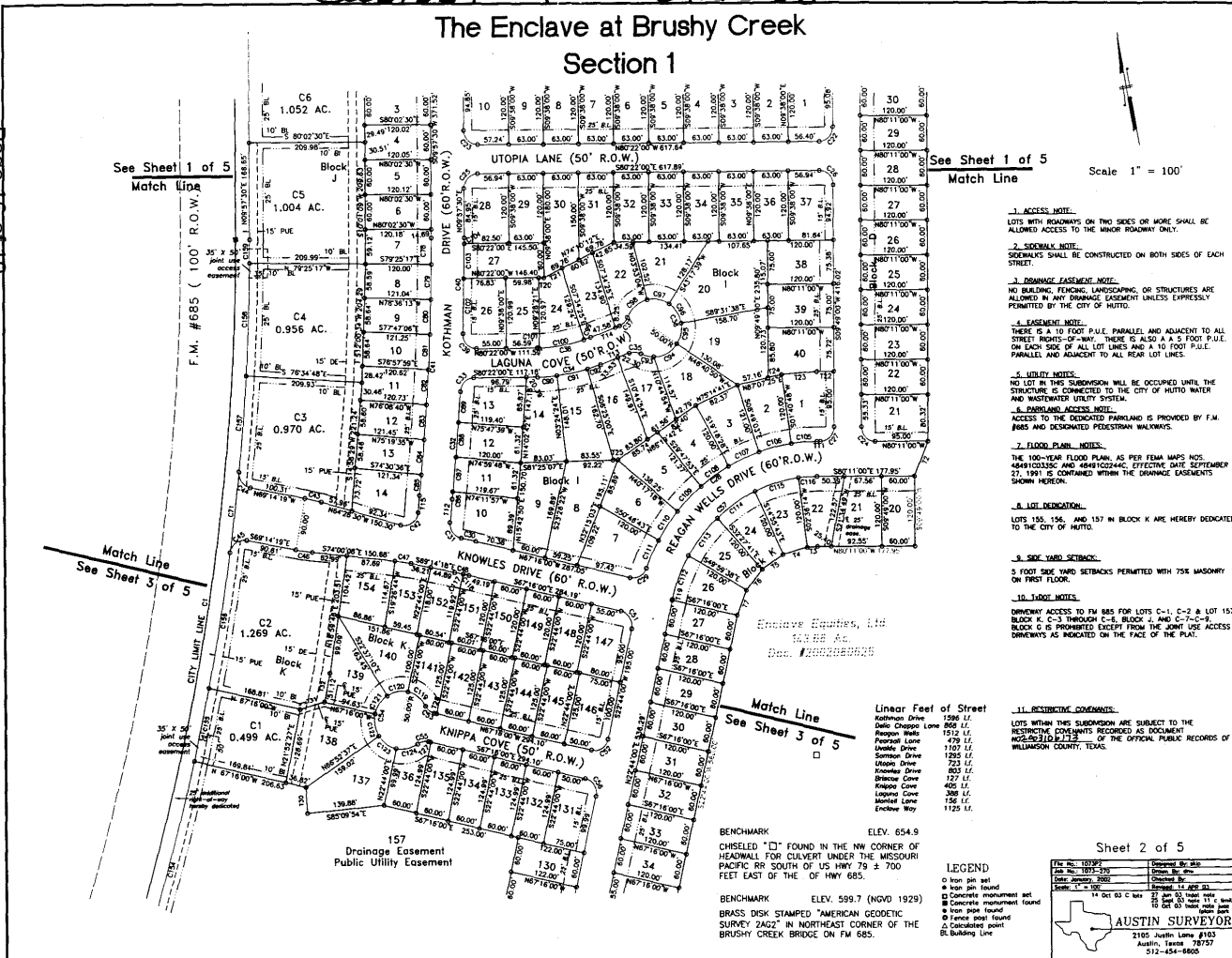
AUSTIN SURVEYORS
2705 Justin Lane #103
Austin, Texas 78757
512-454-9929

PHOTODUPLICATION

Cabinet 4 Slide 68

The Enclave at Brushy Creek Section 1

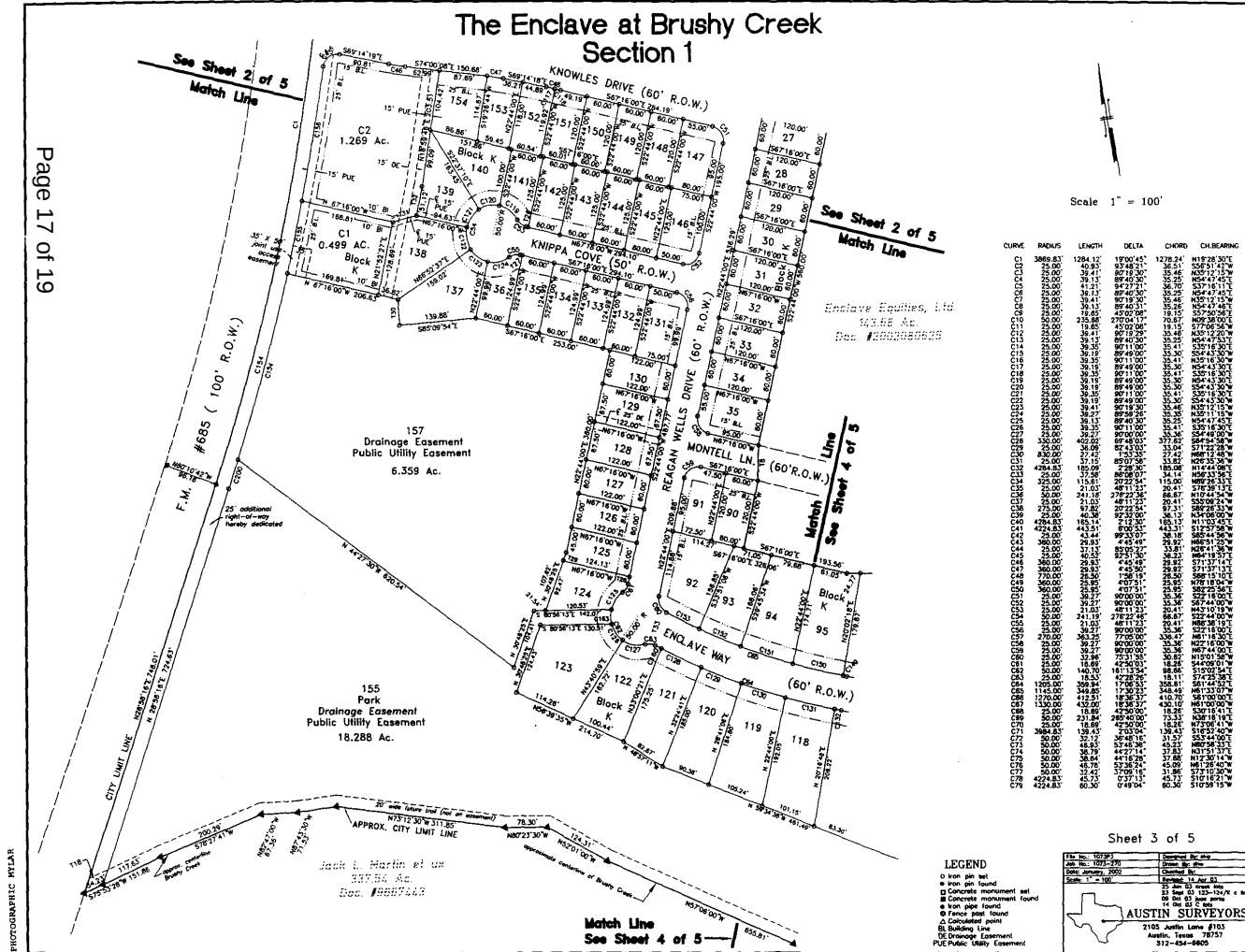
Page 16 of 19



Cabinet Y Slide 69

The Enclave at Brushy Creek Section 1

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SLAVE AT BRUSHY CREEK SECTION 1
A Final Plat of 100.560 Acres
In Hutto, Williamson County, Texas

All that certain tract or parcel of land situated in Williamson County, Texas and being a part of the Nichols Edwards Survey, A-225, and being also a part of a 13.68 acre tract of land conveyed to D. P. Williams and Dr. H. O. Watkins by deed recorded in Document #2000017087 of the Official Records of Williamson County, Texas and being more particularly described by metes and bounds as follows:

DEIGNING a situation found on the East line of P.M. 4685, in the Southwest corner of the above mentioned Official Record for the Northwest corner of the above mentioned 133.68 acre tract and the North west corner of this tract.

THENCE S. 60°22'00" E. with the North line of the above mentioned 133.68 acre tract and the South line of the above mentioned 98.16 acre tract 1254.28 feet to an iron pin set for the Northeast corner of this tract.

THIRTEEN 6°59'58.00"E 123.00 feet to an iron pin set for an angle point of this tract.
 THIRTEEN 6°59'58.00"E 30.19 feet to an iron pin set for an angle point of this tract.
 THIRTEEN 8°09'49.00"W 1240.65 feet to an iron pin set for an angle point of this tract.
 THIRTEEN 8°09'49.00"W 64.51 feet to an iron pin set for an angle point of this tract.
 THIRTEEN 8°09'49.00"W 120.00 feet to an iron pin set for an angle point of this tract.
 THIRTEEN 8°09'49.00"W 137.95 feet to an iron pin set for an angle point of this tract.
 THIRTEEN 8°31'49.00"W 18.87 feet to an iron pin set for an angle point of this tract.
 THIRTEEN 8°31'49.00"W 43.70 feet to an iron pin set for an angle point of this tract.
 THIRTEEN 8°46'18.18"W 43.73 feet to an iron pin set for an angle point of this tract.
 THIRTEEN 8°46'18.18"W 43.73 feet to an iron pin set for an angle point of this tract.
 THIRTEEN 8°57'04.98"W 45.60 feet to an iron pin set for an angle point of this tract.
 THIRTEEN 8°57'04.98"W 46.00 feet to an iron pin set for an angle point of this tract.
 THIRTEEN 8°57'04.98"W 61.23 feet to an iron pin set for an angle point of this tract.
 THIRTEEN 8°57'04.98"W 120.00 feet to an iron pin set for an angle point of this tract.
 THIRTEEN 6°19'16.00"E 193.36 feet to an iron pin set for an angle point of this tract.
 THIRTEEN 6°19'16.00"E 61.61 feet to an iron pin set for an angle point of this tract.
 THIRTEEN 8°09'54.00"W 132.28 feet to an iron pin set for an angle point of this tract.
 THIRTEEN 8°09'54.00"W 132.28 feet to an iron pin set for an angle point of this tract.

[illegible][illegible]

I, Claude F. Henkle, Jr., do hereby certify that I prepared this plot from an actual and accurate on-the-ground survey of this land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the City of Dallas, Texas.

CLAUDE F. HENRI, JR.
4629
CLAUDE F. HENRI, JR.
4629
22 Apr 03
Date

COUNTY OF WILLAMSON

KNOW ALL MEN BY THESE PRESENTS,

That Encinos Equities, Ltd., a Texas general partnership, acting by and through its general partner Decampo Partners, Ltd., a Texas general partnership, acting by and through its general partner Beto Equities, Inc., owners of 13,866 acres of land by virtue of a Deed of Trust

recorded as Document No. 2002080625 of the Official Records of Williamson County, Texas, do hereby consent to the subdivision of 100.56 acres of land situated in the City of Hutto, Williamson County, Texas and do further hereby join, approve, and consent to all

deductions and paid notes shown hereon.

By: *Rudy Bellon*
Rudy Bellon
President Belco Equities, Inc.

WITNESS MY HAND on this the 11 day of Sept A.D. 2002

Notary Public

Notary Public: State of Texas

Printed name: Verger Deeks

My Commission expires: July 11, 2006

KNOW ALL MEN BY THESE PRESENTS, That

That Rebecca B. Bess being the holder of a term by way of Document # 2001-003 of the Official Records of Williamson County, Texas do hereby consent to the subdivision of 100.560 acres of land situated in the City of Hutto, Williamson County, Texas and do further hereby plan, approve, and consent to all dedication and plot notes shown herein.

NAME Charles Colby
COMPANY NAME _____

WITNESS MY HAND on the 26th day of September, 2003

Anthony P. Pinner
Mayor, Public State of Hawaii
Invited Name: John P. H. G. G. G.
By Commission Expires: 11-20-03

PASSED AND APPROVED, on the 2 day of October
at the City of San Francisco
John H. Brown Mayor
Wm. H. Brown Clerk

Mayor, City of Hutto, Texas page 2
C. Margaret L. Beyer
City of Hutto.

Emily Adelsky
911 Coordinating for Williamson County

STATE OF TEXAS
COUNTY OF WILLIAMSON

KNOW ALL MEN BY THESE PRESENTS

1. Money Matter, Clerk of County Court of the said County, do hereby certify that the foregoing instrument in writing, with its certification of genuineness filed for record in my office on the 3 day of November 2007 at 1:30 o'clock P.M. and was duly recorded on the 4 day of November 2007 A.D. at 1:30 o'clock P.M. in the Plot Records of Williamson

In Cobnet 9 Sides 11.60, 70 and 71
 WITNESS MY HAND AND SEAL of the County Court of said County,
 dole, lost above written.

by: Willie Tharpe
Deputy



10

SHEET 6 OF

End: January, 2002	Charged
Start: 1 =	Received



AUSTIN ST
2105 Justin
Austin, Texas
512-454

100

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