



City of Hutto

Agenda

Planning and Zoning Commission

Tuesday, June 2, 2026 at 7:00 PM

Council Chambers

In accordance with the Texas Open Meetings Act this meeting agenda is posted for public information, continuously, for at least 3 business days prior to the scheduled date of the meeting on the bulletin board located on the exterior wall of the City Hall building at 500 West Live Oak, Hutto, Texas. This meeting agenda is also accessible via the Internet at huttotx.gov

1. CALL SESSION TO ORDER

2. ROLL CALL

3. PUBLIC COMMENT

Please fill out required registration form before meeting. Public comment is limited to 3 minutes. City Council can not talk about any items not on the agenda per state law. Written comments for this meeting may also be sent to comments@huttotx.gov PRIOR to 4:00 pm on June 2, 2026. The email must include name, address, phone # and email to be recognized properly. Written comments will be provided to Council.

4. MINUTES

4.1. Consideration and possible action on the meeting minutes from the regular scheduled Planning and Zoning Commission meeting held on May 5, 2026.

5. AGENDA ITEMS

5.1. Consideration and possible action on the Lidell Walker Phase 5 final plat, 36.574-acres, more or less, of land, 172 single-family residential lots and 2 open space lots generally located north of CR 132 and west of CR 133.

5.2. Consideration and possible action on the Meadow Brook Phase 1 final plat, 47.7-acres, more or less, of land, 127 single-family residential lots, 20 duplex lots, and approximately 15-acres of passive parks, and 4.6-acres of active park space generally located north of FM 1660 and west of the Williamson County Southeast Loop.

6. OTHER BUSINESS

6.1. Discussion only: Commission dialogue and deliberation about inclusionary measures the City of Hutto can implement to better accommodate her citizens of all aptitudes and abilities. Subject may include, but is not limited to, code amendments and alterations, staff policy(ies), boards & commissions empowerment, and transparency/communications of the efforts to the community at-large.

7. DEVELOPMENT SERVICES DIRECTOR REPORT

7.1. Reminder: Special Called Meeting June 9th at 6:00 PM. Unified Development Code Discussion

8. ADJOURNMENT

9. CERTIFICATION

I certify that this notice of the June 2, 2026 Hutto Planning and Zoning Commission meeting was posted on the City of Hutto website and the City Hall bulletin board of the City of Hutto on May 27, 2026 before 5:00 P.M.




Angel Kavanaugh, Management Assistant

The City of Hutto is committed to comply with the Americans Disability Act. The Hutto City Council Chamber is wheelchair accessible. Request for reasonable special accommodations must be made 48 hours prior to the meeting. Please email the City Secretary's office at CitySecretary@huttox.gov or call (512) 759-4033 for assistance.

AGENDA ITEM REPORT

4.1.



To: Planning and Zoning Commission
Subject: Consideration and possible action on the meeting minutes from the regular scheduled Planning and Zoning Commission meeting held on May 5, 2026.
Meeting: Tuesday, June 2, 2026
Department: Development Services
Staff Contact:

BACKGROUND INFORMATION:

SUMMARY OF REQUEST:

STAFF REVIEW:

FISCAL NOTES:

POLICY IMPLICATIONS:

ATTACHMENTS:

1. Planning and Zoning Commission Meeting_minutes May 5, 2026



City of Hutto

Agenda

Planning and Zoning Commission

Tuesday, May 5, 2026 at 7:00 PM

Council Chambers

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1. CALL SESSION TO ORDER

2. ROLL CALL

3. PUBLIC COMMENT

Please fill out required registration form before meeting. Public comment is limited to 3 minutes. City Council can not talk about any items not on the agenda per state law. Written comments for this meeting may also be sent to comments@huttotx.gov PRIOR to 4:00 pm on May 5, 2026. The email must include name, address, phone # and email to be recognized properly. Written comments will be provided to Council.

4. MINUTES

4.1. Consideration and possible action on the meeting minutes from the regularly scheduled Planning and Zoning Commission meeting held on April 7, 2026

5. CONSENT AGENDA

6. AGENDA ITEMS

6.1. Old Business: Consideration and possible action on the Durango Farms PH 1 Lot 2A Block A Replat, 1.226 acres, more or less, of land, located at the southwest corner of Mager Lane and 1660.

6.2. Public Hearing, consideration and possible action on the Hutto Residential / Residence Inn PUD application.

7. DEVELOPMENT SERVICES DIRECTOR REPORT

7.1. Progress and schedule discussion of the UDC rewrite

7.2. State & national planning conference attendance

8. REQUESTS FOR FUTURE AGENDA ITEMS

9. ADJOURNMENT

10. CERTIFICATION

I certify that this notice of the May 5, 2026 Hutto Planning and Zoning Commission meeting was posted on the City of Hutto website and the City Hall bulletin board of the City of Hutto on April 29, 2026 before 5:00 P.M.



Angel Kavanaugh
Angel Kavanaugh, Management Assistant

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AGENDA ITEM REPORT

5.1.



To: Planning and Zoning Commission
Subject: Consideration and possible action on the Lidell Walker Phase 5 final plat, 36.574-acres, more or less, of land, 172 single-family residential lots and 2 open space lots generally located north of CR 132 and west of CR 133.
Meeting: Tuesday, June 2, 2026
Department: Development Services
Staff Contact: Manny Hernandez, Forrest Williams

BACKGROUND INFORMATION:

The proposed Lidell Walker Phase 5 Final Plat consists of approximately 36.574 acres and includes 172 single-family residential lots and 2 open space lots. The property is located within the Lidell Walker (Prairie Winds) subdivision, generally north of County Road 132 and west of County Road 133, within the City of Hutto city limits. The subdivision was annexed into the City on September 16, 2021, by Ordinance O-2021-060 and is zoned SF-1 residential: single household medium density.

Phase 5 is part of a larger, multi-phase development approved under the Lidell Walker Preliminary Plat, which includes 1,097 residential lots, 24 open space/drainage lots, and 2 amenity lots. Phase 5 is located north of Phase 2 and west of CR 133, and proposes approximately 9,377 linear feet of public roadway. Phases 1 and 2 are currently under construction.

The site is relatively flat and has historically been used for agricultural purposes, with minimal vegetation and no significant trees. FEMA Flood Insurance Rate Map Panel 48491C0510F (December 20, 2019) indicates that the site is not located within the 100-year floodplain. The property lies within the Turkey Creek and Brushy Creek watersheds with drainage generally flowing north to south. A drainage report compliant with Atlas 14 rainfall data has been provided.

Water service will be provided by Jonah SUD with connections to Phase 2 infrastructure. Wastewater service will be provided by the City of Hutto via existing stub-outs in Phase 2 that convey flow to the Mustang Creek lift station and ultimately to the South Regional WWTP. Per the approved Development Agreement (September 16, 2021), the applicant received a reduction in right-of-way width and a waiver of the Traffic Impact Analysis requirement.

Surrounding Uses

WEST: SF-1 residential: single household medium density (Lidell Walker)
NORTH: SF-1 residential: single household medium density (Lidell Walker)
EAST: SF-1 residential: single household medium density (Lidell Walker)
SOUTH: SF-1 residential: single household medium density (Lidell Walker)

SUMMARY OF REQUEST:

AGENDA ITEM REPORT

5.1.



The applicant is requesting approval of the Lidell Walker Phase 5 Final Plat, consisting of 172 single-family residential lots and 2 open space lots on approximately 36.574 acres within the Lidell Walker subdivision. Initially submitted in December 2024, the plat was reviewed by staff and placed on the January 2025 Planning and Zoning Commission agenda, where it was denied with comments. The revised plat was resubmitted in May 2026 and is being presented on the June 2nd P&Z agenda for consideration, some outstanding comments remain to be called out on the plat.

STAFF REVIEW:

This Final Plat is subject to the requirements of HB 3167 (shot clock). While several comments from the initial review have been addressed, there remain outstanding engineering comments related to floodplain compliance based on Atlas 14 rainfall data and city stormwater requirements, along with minor updates needed to the plat document itself. Due to noncompliance with the stormwater management standards adopted under Ordinance O-2023-052, staff recommends denial of the Final Plat at this time.

Details regarding deficiencies: The drainage report originally approved for this project predates current City staff and does not reflect the City of Hutto's adopted design standards, including the Round Rock Drainage Criteria Manual and Atlas 14 rainfall data. The engineer has continued resubmitting the outdated report for subsequent phases, but with the requested revisions, a complete drainage report must now be submitted through the designated portal. Updated Williamson County floodplain mapping indicates that the Atlas 14-based 100-year floodplain encroaches into the project site, contrary to the FEMA-based conclusion in the existing report. Additionally, although the project significantly increases impervious cover, no detention is proposed and the current analysis lacks sufficient justification demonstrating no adverse impacts or rise in base flood elevation; a HEC-RAS analysis of the affected creek reach is also needed. The project is further subject to the regional stormwater management fee per City Code § 24.10.002, applicable to developments increasing impervious cover and calculated at \$800 per gross acre for single-family residential projects.

FISCAL NOTES:

There are no fiscal impacts associated with this item.

POLICY IMPLICATIONS:

There are no policy implications associated with this item. Final plat approval is a ministerial action governed by state law and the City of Hutto UDC.

ATTACHMENTS:

1. R-2021-147A- Repealing R-2021-147 DA COH-WMV North Hutto 10-7-21 (1)
2. LWPh5FP-StaffComm(5-27)

AGENDA ITEM REPORT

5.1.



RESOLUTION NO. R-2021-147A

A RESOLUTION OF THE CITY OF HUTTO, TEXAS REPEALING RESOLUTION R-2021-147; APPROVING A DEVELOPMENT AGREEMENT BETWEEN THE CITY OF HUTTO AND WMV NORTH HUTTO, LLC; AUTHORIZING THE CITY MANAGER TO EXECUTE THE AGREEMENT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, on September 16, 2021, the City Council adopted Resolution R-2021-147 approving a Development Agreement between the City of Hutto and WMV North Hutto, LLC, and authorizing the City Manager to execute the Agreement (the "Agreement"); and

WHEREAS, WMV North Hutto, LLC, has requested some revisions to the Agreement; and

WHEREAS, the City Council desires to repeal Resolution R-2021-147 and authorize the City Manager to enter into a Development Agreement with WMV North Hutto, LLC, with the requested changes; and

WHEREAS, the City Council desires to authorize the City Manager to execute the Agreement, attached as Exhibit A;

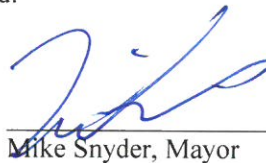
NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HUTTO, TEXAS,

SECTION 1: The findings set forth in the recitals of this Resolution are hereby found to be true and correct and are hereby adopted as findings of the City Council and are incorporated into the body of this Resolution as if fully set forth herein.

SECTION 2: That the Hutto City Council hereby repeals Resolution R-2021-147 and approves and authorizes the City Manager to execute the Development Agreement, attached as Exhibit "A", a copy of same being attached hereto and incorporated herein for all purposes.

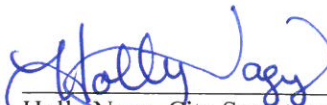
SECTION 3: The City Council hereby finds and declares that written notice of the date, hour, place and subject of the meeting at which this Resolution was adopted was posted and that such meeting was open to the public as required by law at all times during which this Resolution and the subject matter hereof were discussed, considered and formally acted upon, all as required by the Open Meetings Act, Chapter 551, Texas Government Code, as amended.

RESOLVED this 7th day of October, 2021.



Mike Snyder, Mayor

ATTEST:



Holly Nagy, City Secretary



DEVELOPMENT AGREEMENT

This Development Agreement (“Agreement”) is entered into to be effective as of the 7th day of October, 2021 (the “Effective Date”), by and between the **City of Hutto, Texas** (the “City”), a home rule city organized under the laws of the State of Texas, and **WMV North Hutto, LLC**, a Texas limited liability company, and its successors and assigns (“Owner”). The City and Owner are, collectively, the “Parties” to this Agreement.

RECITALS

WHEREAS, Owner has the right to acquire that certain tract of land containing approximately 263.02 acres currently in the City’s extraterritorial jurisdiction (“ETJ”) (the “Property”), comprised of a 106.918 acre tract, more or less, described by metes and bounds on **Exhibit A-1** attached hereto and incorporated herein (“Tract 1”); a 76.317 acre tract, more or less, described by metes and bounds on **Exhibit A-2** attached hereto and incorporated herein (“Tract 2”); a 65.281 acre tract, more or less, described by metes and bounds on **Exhibit A-3** attached hereto and incorporated herein (“Tract 3”); and a 14.504 acre tract, more or less, described by metes and bounds on **Exhibit A-4** attached hereto and incorporated herein (“Tract 4”); and

WHEREAS, Owner intends to acquire and develop the Property into a single-family residential subdivision containing approximately 1,123 single-family lots and community amenities (the “Project”), that will serve present and future residents of the City; and

WHEREAS, the Project is anticipated to add significant property tax base and increased property tax revenues in the City; and

WHEREAS, the City and Owner desire to set forth in this Agreement certain terms and conditions for the planning, design, construction, development, and financing of the Project.

NOW, THEREFORE, in consideration of the mutual covenants and agreements contained herein and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties hereby agree as follows:

ARTICLE I PURPOSE AND INTERPRETATION

1.01 Objectives. Owner is proposing to develop a residential subdivision on the Property. Hutto continues to have a need for quality residential development that complements the economic and strategic goals of the City. The City believes that the development of the Project will provide needed, high quality housing for existing and future residents.

1.02 Concept and Structure. Development of the Property will generally conform to the Concept Plan attached hereto as **Exhibit B**. Owner will be responsible for the development and construction of the Project, except as set forth herein.

1.03 Interpretation. In this Agreement, unless a clear contrary intention appears;

- (a) the singular number includes the plural number and vice versa;
- (b) reference to any Party includes such Party's successors and assigns but, if applicable, only if such successors and assigns are permitted by this Agreement, and reference to a Party in a particular capacity excludes such Party in any other capacity or individually;
- (d) reference to any agreement, document or instrument means such agreement, document or instrument as amended or modified and in effect from time to time in accordance with the terms thereof;
- (e) "hereunder," "hereof," "hereto," and words of similar import shall be deemed references to this Agreement as a whole and not to any particular article, section or other provision thereof;
- (f) "including" (and with correlative meaning "include") means including without limiting the generality of any description preceding such term; and
- (g) reference to any constitutional, statutory or regulatory provision means such provision as it exists on the Effective Date and any amendatory provision thereof or supplemental provision thereto.

1.04 Legal Representation of the Parties. This Agreement was negotiated by the Parties hereto with the benefit of legal representation and any rules of construction or interpretation otherwise requiring this Agreement to be construed or interpreted against any Party shall not apply.

ARTICLE II **DEFINITIONS**

2.01 Definitions. All capitalized terms used in this Agreement shall have the meanings ascribed to them in this **Article II**, or as otherwise provided herein.

"Agreement" means this Development Agreement by and between the City and Owner.

"City" means the City of Hutto, Texas.

"City Council" means the City Council of the City of Hutto.

"Concept Plan" means the concept plan attached hereto as **Exhibit B**, as such concept plan may be modified and changed from time to time as set forth in this Agreement. The Parties acknowledge and agree that the Concept Plan is for illustrative purposes only and is only a general representation of the design.

"Owner" means WMV North Hutto, LLC, a Texas limited liability company, and its successors and assigns that specifically assume the rights and obligations of this Agreement.

"Effective Date" means the date set forth in the opening paragraph on page 1.

"LUE" means the capacity necessary to serve a single-family residential connection or its equivalent.

"Parties" means the City and Owner.

“**Party**” means the City or Owner.

“**Peterson Property**” means the approximately 226.473 acres of land located to the west of the Property, comprised of a 199.464 acre tract, more or less, described by metes and bounds on Exhibit C-1 attached hereto and incorporated herein (“Peterson Tract 1”); and a 27.009 acre tract, more or less, described by metes and bounds on Exhibit C-2 attached hereto and incorporated herein (“Peterson Tract 2”).

“**Peterson Property Developer**” means the party that develops the Peterson Property and receives wastewater service from the City to the Peterson Property via the Wastewater Lift Station and the WWTP (as such terms are defined below).

“**Project**” means the Project as described in **Article IV**.

“**Property**” means the real property described and shown on Exhibit A-1, Exhibit A-2, Exhibit A-3, and Exhibit A-4.

“**State**” means the State of Texas.

“**UDC**” means the Unified Development Code of the City as of the Effective Date.

“**Wastewater Lift Station**” means that portion of the City’s wastewater system contemplated in this Agreement, being an approximately 2,600 LUE wastewater lift station that will connect the Project to the WWTP, as more particularly described and depicted as the “Proposed Mustang Creek Lift Station” on Exhibit D attached hereto and incorporated herein.

“**Wastewater Lift Station Site**” means the lot or tract of land on which the Wastewater Lift Station will be located, as depicted on Exhibit D attached hereto and incorporated herein.

“**WWTP**” means the Hutto South Regional Wastewater Treatment Plant.

ARTICLE III **ANNEXATION AND ZONING**

3.01 Annexation. As of the Effective Date, the Property has not been annexed, but is in the City’s ETJ. While Tract 1, Tract 2 and approximately 55.74 acres of Tract 3 are subject to the Prior Development Agreements (defined below), Tract 4 and approximately 9.541 acres of Tract 3 are not subject to any agreements pursuant to which the owner of such tracts has consented to annexation by the City. In consideration of this Agreement and the City’s incentives set forth in Section 4.03 below, Owner and City hereby agree to the annexation of the Property into City’s corporate limits, and intend that this Agreement provide for the annexation of the Property for all purposes and shall constitute Owner’s request for annexation. Further, notwithstanding that the Project may be phased (as set forth below), Owner agrees that all Property will be annexed in one proceeding. City agrees that phases not under active development may remain in agricultural or open space use for purposes of ad valorem tax purposes (although all such Property shall be subject to the ordinances and jurisdiction of the City once annexed.)

3.02 Zoning. Because the Property has not been annexed, it has not yet been zoned. The Parties agree that they will work together in good faith to zone the Property “SF-1 Village” (defined in the UDC), subject to the modifications in this Agreement. The Property shall be zoned contemporaneous with annexation. Upon the adoption of permanent zoning for the Property, the applicable UDC provisions will be subject to the terms, provisions, and conditions of this Agreement.

3.03 Chapter 245 Permit. This Agreement shall constitute a Permit in a series of Permits for the purpose of vesting and rights shall accrue as contemplated in Chapter 245 of the Texas Local Government Code (subject to the exemptions as set forth therein), as authorized by Section 212.172(g) of the Texas Local Government Code. Except as modified herein, all aesthetic requirements of the zoning district, as outlined in the UDC shall be followed.

3.04 Land Use Upon Annexation. On the effective date of the annexation of the Property, the zoning jurisdiction of the City shall be extended to include the annexed area, and the use of all of the Property shall be vested for the uses and development standards set forth in this Agreement, unless Owner substantially amends or abandons the Project, defaults under this Agreement, or permits its vested rights under Chapter 245 of the Texas Local Government Code to expire.

3.05 Prior Development Agreements. This Agreement supersedes and replaces in all respects the prior Chapter 43 Texas Local Development Code Development Agreements relating to the Property, or any portion thereof, including: (i) the Development Agreement dated February 4, 2019, relating generally to Tract 1 and recorded under Document No. 2019043493, Official Public Records of Williamson County, Texas; (ii) the Development Agreement dated January 24, 2019, relating generally to Tract 2 (and other property) and recorded under Document No. 2020144955, Official Public Records of Williamson County, Texas; (iii) the Development Agreement dated December 28, 2018, relating generally to 50.74 acre portion of Tract 3 and recorded under Document No. 2019046112, Official Public Records of Williamson County, Texas; and (iv) the Development Agreement dated December 28, 2018, relating generally to a 5 acre portion of Tract 3 and recorded under Document No. 2019035411, Official Public Records of Williamson County, Texas (collectively, the “Prior Development Agreements”). Upon full execution of this Agreement, such Prior Development Agreements will automatically terminate and be of no further force and effect, and upon Owner’s request (and at Owner’s expense) the City will execute and deliver a release of the Prior Development Agreements to Owner for recording in Official Public Records of Williamson County, Texas.

ARTICLE IV **THE PROJECT**

4.01 General Description. The Project will be planned, developed, and constructed on the Property by Owner in phases as determined by Owner in accordance with market conditions and otherwise in accordance with any permits and approvals from any applicable governmental authorities.

4.02 Development. Owner intends to construct improvements to real property and additions to

personal property within the Property as generally contemplated by the Concept Plan. However, the parties agree and acknowledge that the actual construction shall be dictated by the ultimate zoning of the Property, platting of the Property, site development permits issued for the Property, and other development permits issued for the Property, subject to the terms of this Agreement. Each preliminary plat and final plat that complies with the Concept Plan (as it may be amended), this Agreement, state law and federal law shall be reviewed and approved by the City in accordance with applicable laws and city charter, when submitted for review and approval. The Project will be permitted and constructed in accordance with City ordinances and regulations except as may be specifically set forth in this Agreement.

4.03 City Incentives to Project. The City incentives to the Project shall include only the following:

(a) The City agrees to enter into a mutually agreeable license agreement to allow Owner to maintain monument signage, other subdivision entry features, and landscaping in the City right-of-way (as such may be finally approved in the site plan), and to allow the license agreement to be assigned to the Home Owners' Association for the Project.

(b) The City agrees to enter into a mutually agreeable license agreement to allow Owner to maintain the floodplain areas that are dedicated as public parkland (as such may be finally approved in the final plats), and to allow the license agreement to be assigned to the Home Owners' Association for the Project. The license agreement will further provide the City with a right of entry and enforcement to enforce its regulations and requirements with respect to maintaining the flood areas.

(c) The City agrees to allow Owner to connect to City's adjacent wastewater facilities and commits to provide wastewater utility service to the Project in an amount sufficient for full build-out of the Project, as generally contemplated by the Concept Plan, estimated as of the Effective Date to be approximately 1,150 LUEs of wastewater utility service, subject to Owner's payment of the fees imposed by the City for such service pursuant to applicable provisions of the UDC. The City and Owner acknowledge that water utility service to the Project will be provided by Jonah Water Special Utility District ("Jonah"). In connection with Jonah's provision of such water utility service to the Project, the City agrees to allow Jonah's installation and operation of waterlines and related appurtenances within the City's existing and proposed right-of-way.

(d) The Project shall generally comply with (i) the Concept Plan (as it may be amended), (ii) the City Code of Ordinances and UDC as modified by this Agreement, and (iii) the other terms and conditions of this Agreement (including the Exhibits). The City agrees that the UDC will be modified as to the Project as follows:

- (i) The minimum widths of public rights of way within the Project will be: 55' for local roadways; 64' for the limited collector roadway located to the south of Mustang Creek; 70' for all other collector roadways; 120' for the east/west arterial roadway; and 136' (centerline offset basis) for County Road 133; and

- (ii) No Traffic Impact Analysis is required for the construction of the Project as shown in the Concept Plan, provided that Owner pays City a traffic impact fee equal to \$4,000/single-family lot at the time of building permit for the residence to be constructed thereon; provided, however, that, upon Owner's request and satisfaction of the procedural requirements of the City's Transportation Impact Fees Ordinance, the City shall grant to Owner a credit against such traffic impact fees in an amount equal to the sum of: (A) the documented third-party soft and hard costs incurred by Owner for the east/west arterial roadway within the Project; (B) the actual land acquisition cost incurred by Owner for the right-of-way to be dedicated to the City or Williamson County for the future expansion of County Road 133, whether directly incurred by Owner or pursuant to subsection (f) below; and (C) the documented costs incurred by Owner to acquire the additional offsite right-of-way to contain the offsite portion of the east/west arterial roadway necessary to connect Farm to Market Road 1660 and County Road 133, which Owner may acquire and dedicate to the City or Williamson County, or the City may acquire, at Owner's expense, pursuant to subsection (f) below. The traffic impact fee, subject to the credits set forth above, will be deemed to satisfy the requirements of the UDC.

(e) Owner acknowledges that the capacity of the Wastewater Lift Station will need to be increased by approximately 2,000 gallons per minute in order for the WWTP to serve the Project and other properties. If Owner elects to develop the Project before the Peterson Property Developer constructs and installs the Wastewater Lift Station, then Owner will construct and install such facilities in accordance with the terms of and provisions of this Agreement and subject to partial reimbursement by the City as described in this subsection and/or cost-sharing by the Peterson Property Developer. Upon such election, Owner will design, permit, and construct the Wastewater Lift Station subject to a right to receive reimbursement from the City for the documented third-party soft and hard costs incurred by Owner to oversize the capacity of the Wastewater Lift Station from a 600 LUE lift station to a 2,600 LUE lift station, as set forth below (the "Wastewater Infrastructure Cost-Sharing"). The City will pay the Wastewater Infrastructure Cost-Sharing to Owner by rebating to Owner all wastewater impact fees collected by the City for connections to the City's wastewater system within the Project and the Peterson Property until such time as the Wastewater Infrastructure Cost-Sharing is paid in full (the "Wastewater Impact Fee Rebates"). The City will pay the Wastewater Impact Fee Rebates to Owner on or before the 15th day of each April, July, October and January, which payments will be in an amount equal to the total amount of subject wastewater impact fees collected by City during the three (3) calendar months preceding the month the scheduled payment is due and payable. Notwithstanding the foregoing, in the event that Owner and the Peterson Property Developer enter into a private cost-sharing agreement providing for the Peterson Property Developer's direct funding or reimbursement to Owner of funds for the same purposes as the Wastewater Infrastructure Cost-Sharing, then Owner shall notify the City of such agreement, provide a true and correct copy of such agreement to the City, and upon Owner's receipt of any such funds from the Peterson Property Developer, the City will

receive corresponding dollar-for-dollar credits against its obligation to pay the Wastewater Infrastructure Cost-Sharing to Owner hereunder.

(f) Access to the Project will be provided via connections to Farm to Market Road 1660 adjacent to the northern boundary of the Property, County Road 133 adjacent to the eastern boundary of the Property, County Road 132, and one or more local roadway connections to existing or proposed right-of-way adjacent to the Property. Owner will attempt to acquire approximately 3 acres of land adjacent to the western boundary of the Property, as generally depicted on Exhibit B, for right-of-way to contain the offsite portion of the east/west arterial roadway necessary to connect Farm to Market Road 1660 and County Road 133, the actual land acquisition costs of which will be credited against the traffic impact fees to be paid in connection with the Project pursuant to Section 4.03(d)(ii)(C) above. However, if Owner is unable to acquire such tract of land, Owner will provide written notice to the City, whereupon the City shall initiate and diligently pursue to completion the acquisition of such tract of land by eminent domain. The Owner shall pay the reasonable costs of any eminent domain proceeding that is initiated under the terms of this Agreement.

ARTICLE V **MISCELLANEOUS**

5.01 Mutual Assistance. The City and Owner will do all things reasonably necessary or appropriate to carry out the terms and provisions of this Agreement.

5.02 Insurance and Indemnity.

(a) Insurance. All Owner's contractors, subcontractors, engineers, and consultants performing work on the Wastewater Lift Station Site shall carry and maintain throughout the term of this Agreement (except as specifically noted below) the following insurance policies as required by the City.

(i) Certificates of Insurance and Insurance Policy Documents. Certificates of Insurance will not be accepted as substitutes for copies of Insurance Policy Documents. The term "Insurance Policy Documents" means true and correct copies of the relevant policy of insurance including all declarations, definitions, schedules, endorsements, exclusions, exceptions, riders, waivers, jackets, modifications, notices, descriptions of deductibles and of self-insured retentions and all other instruments and other documents governing insurance coverage under such policy.

(ii) Special Requirements. The Owner or Owner's contractor shall not cause or permit any insurance required hereunder to be canceled or lapse during the term of this Agreement. Insurance coverage is to be written by companies duly authorized to do the business of insurance in the State of Texas at the time the policies are issued and will be written by companies with an A.M. Best rating of A-VII or better or otherwise approved in writing by the City. Additionally, all policies will contain a provision in favor of the City waiving subrogation and other rights of recovery against the City, and will be endorsed to provide the City with a 30-day advance notice of cancellation or change in coverage The

City will be an additional insured as its interests may appear on the Commercial General and Automobile Liability policies. All policies will provide primary coverage as applicable, with any insurance maintained by the City being excess and non-contributing. The production of copies of all policies to be promptly supplemented with delivery to the City of copies of any and all changed or new Insurance Policy Documents. The Owner or Owner's contractor will be responsible for (i) overseeing its contractors with respect to such contractors' obtaining and maintaining the insurance required hereunder and (ii) obtaining and keeping copies of such Insurance Policy Documents evidencing the insurance coverages required hereunder.

(iii) Additional Insured. All endorsements, waivers, and notices of cancellation as well as the policies of commercial general liability and automobile insurance shall provide that City is an additional insured and will be delivered to the City as provided in the Notices Section of this Agreement or such other address as the City may notify the Owner or Owner's contractor in writing.

(iv) Cost. The Owner or Owner's contractor shall be responsible for paying premiums, deductibles and self-insured retentions, if any, stated in the insurance policies to be carried hereunder by the Owner (not by its contractors and any subcontractors). All deductibles or self-insured retentions shall be disclosed on the Insurance Policy Documents. The insurance coverages required under this Agreement are required minimums and are not intended to limit or otherwise establish the responsibility or liability of the Owner under this Agreement.

(b) INDEMNIFICATION AND HOLD HARMLESS. OWNER HEREBY COVENANTS AND AGREES TO RELEASE, DEFEND, HOLD HARMLESS, AND INDEMNIFY CITY, AND THE CURRENT AND FUTURE OFFICERS, AGENTS, SERVANTS AND EMPLOYEES THEREOF, FROM AND AGAINST ALL THIRD-PARTY CLAIMS, SUITS, JUDGMENTS, DAMAGES, AND DEMANDS (TOGETHER, "THIRD PARTY CLAIMS" OR "TPC") AGAINST THE CITY, WHETHER THREATENED, ANTICIPATED, OR ASSERTED, INCLUDING WITHOUT LIMITATION REASONABLE ATTORNEY'S FEES, RELATED EXPENSES, EXPERT WITNESS FEES, CONSULTANT FEES, AND OTHER COSTS, ARISING OUT OF THE NEGLIGENCE OR OTHER WRONGFUL CONDUCT OF THE OWNER ON THE WASTEWATER LIFT STATION SITE, INCLUDING THE NEGLIGENCE OF THE OWNER'S EMPLOYEES, CONTRACTORS, SUBCONTRACTORS, MATERIALMEN, AND AGENTS OCCURRING DURING THE CONSTRUCTION OF ANY PORTION OF THE INFRASTRUCTURE OR PERFORMANCE OF THIS AGREEMENT ON THE WASTEWATER LIFT STATION SITE; AND IT IS EXPRESSLY UNDERSTOOD THAT SUCH TPC SHALL, EXCEPT AS MODIFIED BELOW, INCLUDE TPC EVEN IF CAUSED BY THE CITY'S OWN CONCURRENT (BUT NOT GROSS) NEGLIGENCE. OWNER SHALL NOT, HOWEVER, BE REQUIRED TO INDEMNIFY THE CITY AGAINST TPC CAUSED BY THE CITY'S SOLE NEGLIGENCE. IF THE CITY INCURS TPC THAT ARE CAUSED BY THE CONCURRENT NEGLIGENCE OF OWNER AND THE CITY, OWNER'S INDEMNITY OBLIGATION WILL BE LIMITED TO A FRACTION OF THE TOTAL TPC AND EXPENSES EQUIVALENT TO THE OWNER'S OWN PERCENTAGE OF RESPONSIBILITY.

(c) **Claims.** If the City notifies Owner of any TPC relating to the construction of any portion of the infrastructure or performance of this Agreement on the Wastewater Lift Station Site, Owner shall assume on behalf of the City and conduct with due diligence and in good faith the investigation and defense thereof and the response thereto with counsel selected by Owner but reasonably satisfactory to the City; provided, that the City has the right to be represented by advisory counsel of its own selection and at its own expense; and provided further, that if any such TPC involves Owner and the City and the City has been advised in writing by counsel that there may be legal defenses available to it which are inconsistent with those available to Owner, then the City has the right to select separate counsel to participate in the investigation and defense of and response to such TPC on the City's own behalf, and Owner shall pay or reimburse the City for all reasonable legal fees and costs incurred by the City because of the selection of such separate counsel.

(d) **Release.** Other than to the extent caused by a the City's uncured default under this Agreement, Owner hereby releases the City with respect to all TPCs relating to the construction of any portion of the infrastructure or performance of this Agreement on the Wastewater Lift Station Site regarding any alleged, established or admitted negligent or wrongful act or omission of the City or any agents, contractors, representatives or employees of the City, INCLUDING ALL TPCS CAUSED BY THE NEGLIGENCE OR STRICT LIABILITY OF THE CITY, but excluding TPCs to the extent caused by the gross negligence or willful misconduct of the City. The provisions of this Section will survive the expiration or earlier termination of this Agreement.

5.03 Default; Remedies.

(a) No Party shall be in default under this Agreement until notice of the alleged failure of such Party to perform has been given (which notice shall set forth in reasonable detail the nature of the alleged failure) and until such Party has been given a reasonable time to cure the alleged failure, such reasonable time determined based on the nature of the alleged failure, but in no event (a) more than ten (10) business days for a monetary default, or (b) less than 30 days or more than 90 days after written notice of the alleged failure has been given for a non-monetary default. In addition, no Party shall be in default under this Agreement if, within the applicable cure period for a non-monetary default, the Party to whom the notice was given or another Party begins performance and thereafter diligently and continuously pursues performance until the alleged failure has been cured. If the Property has multiple Owners, a default by one Owner will not constitute a default by the performing Owner(s) as to the portion of the Property owned by the performing Owner(s).

(b) If a Party is in default beyond any applicable notice and cure period, the aggrieved Party may, at its option and without prejudice to any other right or remedy under this Agreement, seek any relief available at law or in equity, including, but not limited to, an action under the Uniform Declaratory Judgement Act, specific performance, mandamus, and injunctive relief. Notwithstanding the foregoing, however, no default under this Agreement shall:

(i) entitle the aggrieved Party to terminate this Agreement (except as specifically set forth in this Agreement); or

(ii) adversely affect or impair the current or future obligations of the City to provide water or wastewater service or any other service to the Property; or

(iii) entitle the aggrieved Party to seek or recover consequential monetary damages of any kind; or

(iv) reduce the term of this Agreement (except as specifically set forth in this Agreement).

(c) In the event any legal action or proceeding is commenced between the Parties to enforce provisions of this Agreement and recover damages for breach, the prevailing party in such legal action shall be entitled to recover its reasonable attorneys' fees and expenses incurred by reason of such action, to the extent allowed by law.

5.04 Undocumented Workers. Owner certifies that it does not and will not knowingly employ an undocumented worker in accordance with Chapter 2264 of the Texas Government Code, as amended. Pursuant to Section 2264.101, Texas Government Code, a business is not liable for a violation of Chapter 2264 by a subsidiary, affiliate, or franchisee of the business, or by a person with whom the business contracts.

5.05 Binding Effect. This Agreement shall be binding on and inure to the benefit of the Parties, their respective successors and assigns. This Agreement does not create any encumbrance on title as to any purchaser of a completed residence within the Project.

5.06 Assignment. Owner may assign this Agreement with respect to all or a portion of the Property from time to time, without the prior written consent of the City, to an affiliate of Owner or so long as: (i) the assignment is in writing to an entity that is not delinquent in the payment of taxes; that is not in default in a development agreement with the City and has the experience and financial capacity to perform the obligations of this Agreement; (ii) the assignment provides that the assignee assumes such assigned rights and obligations without modification or amendment; (iii) the assignment is executed by Owner and the assignee; and (iv) Owner provides a copy of the fully executed assignment to the City within fifteen (15) business days after the effective date of the assignment. Upon such assignment with respect to all or a portion of the Property, Owner shall be fully released from any and all obligations under this Agreement and shall have no further liability with respect to this Agreement relating to the portion of the Property conveyed to the assignee to which this Agreement is so assigned. A default by any subsequent partial assignee shall not constitute a default by Owner under this Agreement, but only under such partial assignment.

5.07 Amendment. This Agreement may be amended only by the mutual written agreement of the Parties (except that if there are multiple Owners and the amendment applies only to portions of the Property owned by a single Owner, this Agreement may be amended by the mutual written agreement of the City and Owner of the portion of the Property to which the amendment applies). A successor of portions of the Property (such as a purchaser of a lot within the subdivision) does not make such successor a "Party." Owner's rights under this Agreement must be specifically assigned to a successor in order for such successor to be a "Party."

5.08 Entire Agreement. All Parties mutually agreed to the terms of this Agreement. The Agreement shall not be construed in favor of or against one Party. It is agreed that there is no representation, warranty, collateral agreement or condition affecting this Agreement except as expressly provided in this Agreement. This Agreement contains the entire agreement between the

Parties; there are no other terms, promises, conditions, or obligations other than those contained herein. This Agreement shall supersede all previous communications, representations or agreements, either oral or written.

5.09 Notice. Any notice and or statement required and permitted to be delivered shall be deemed delivered by actual delivery, by electronic mail, or by depositing the same in the United States mail, certified with return receipt requested, postage prepaid, addressed to the appropriate party at the following addresses:

If to City: City of Hutto
Attn: Warren Hutmacher, City Manager
500 W. Live Oak St.
Hutto, TX 78634
Email: Warren.Hutmacher@HuttoTX.gov

With required copy to: Bojorquez Law Firm
Attn: Alan Bojorquez
11675 Jollyville Road, Suite 300
Austin, Texas 78759

If to Owner: WMV North Hutto, LLC
Attn: Holt Dunlop & James Dougherty
3310 N. Capital of Texas Hwy., Ste. 202
Austin, TX 78746
Email: hdunlop@waymakerventures.com
jdougherty@waymakerventures.com

Any Party may designate a different address at any time upon written notice to the other Parties.

5.10 Interpretation. Each of the Parties has been represented by counsel of their choosing in the negotiation and preparation of this Agreement. Regardless of which party prepared the initial draft of this Agreement, this Agreement shall, in the event of any dispute, however its meaning or application, be interpreted fairly and reasonably and neither more strongly for or against any Party.

5.11 Applicable Law. This Agreement is made, and shall be construed and interpreted, under the laws of the State of Texas and venue shall lie in Williamson County, Texas.

5.12 Severability. In the event any provisions of this Agreement are illegal, invalid or unenforceable under present or future laws, it is the intention of the Parties that the remainder of this Agreement shall not be affected. It is also the intention of the Parties of this Agreement that in lieu of each clause and provision that is found to be illegal, invalid or unenforceable, a provision be added to this Agreement which is legal, valid or enforceable and is as similar in terms as possible to the provision found to be illegal, invalid or unenforceable.

5.13 Waiver. Any failure by a Party to insist upon strict performance by the other Party of any material provision of this Agreement shall not be deemed a waiver of such provision or of any other provision of this Agreement, and such Party shall have the right at any time(s) thereafter to insist upon strict performance of any and all of the provisions of this Agreement.

5.14 Paragraph Headings. The paragraph headings contained in this Agreement are for convenience only and will in no way enlarge or limit the scope or meaning of the various and several paragraphs.

5.15 No Third-Party Beneficiaries. This Agreement is not intended to confer any rights, privileges, or causes of action upon any third party.

5.16 Exhibits. The following exhibits are attached and incorporated by reference for all purposes:

- Exhibit A-1:** Description of Tract 1
- Exhibit A-2:** Description of Tract 2
- Exhibit A-3:** Description of Tract 3
- Exhibit A-4:** Description of Tract 4
- Exhibit B:** Concept Plan
- Exhibit C-1:** Description of Peterson Tract 1
- Exhibit C-2:** Description of Peterson Tract 2
- Exhibit D:** Wastewater Lift Station

5.17 No Joint Venture. It is acknowledged and agreed by the Parties that the terms hereof are not intended to and shall not be deemed to create any partnership or joint venture among the Parties. Neither the City, nor its past, present and future officers, elected officials, employees and agents of the City, do assume any responsibilities or liabilities to any third party in connection with the development of the Project or the design, construction or operation of any portion of the Project.

5.18 Additional Compliance. Pursuant to Section 2252.152, Texas Government Code, neither Owner nor any wholly owned subsidiary, majority-owned subsidiary, parent company or affiliate of Owner is a company currently listed by the Texas Comptroller of Public Accounts under Section 806.051, 807.051, or 2252.153 of the Texas Government Code.

5.19 Term. This Agreement shall become enforceable upon its Effective Date and shall expire 35 years after the date the City has issued the last Certificates of Occupancy for the Project, unless the Parties mutually agree to terminate it sooner.

5.20. Force Majeure. Each Party shall use good faith, due diligence and reasonable care in the performance of its respective obligations under this Agreement, and time shall be of the essence in such performance; however, in the event a Party is unable, due to force majeure, to perform its obligations under this Agreement, then the obligations affected by the force majeure shall be temporarily suspended. Within three (3) business days after the occurrence of a force majeure event, the Party claiming the right to temporarily suspend its performance, shall give Notice to all the Parties, including a detailed explanation of the force majeure and a description of the action that will be taken to remedy the force majeure and resume full performance at the earliest possible time. The term "force majeure" means events or circumstances that are not within the reasonable control of the Party whose performance is suspended and that could not have been avoided by such Party with the good faith exercise of good faith, due diligence and reasonable care, including, without limitation, acts of God or the public enemy, war, terrorism, criminal activity, riot, civil

commotion, insurrection, government or de facto governmental action or failure to act (unless caused by the intentionally wrongful acts or omissions of the Party), fires, explosions, floods, hurricanes, adverse weather, materials or labor shortages, strikes, slowdowns, work stoppages, or pandemics or epidemics.

5.21. Attorney’s Fees and Court Costs. In the event that any matter relating to this Agreement results in the institution of legal proceedings by any Party to this Agreement, each Party in such proceeding shall be responsible for the expenses incurred by it in connection with such proceedings, including, without limitation, court costs and attorneys’ fees.

5.22. No Personal liability of public officials or the City. To the extent permitted by State law, neither the City, any City agent or representative, nor any public official or employee shall be personally liable or responsible for any liability arising under or related to this Agreement.

5.23. No Boycott of Israel. If applicable, if the Owner employs 10 or more full-time employees and the Agreement has a value of \$100,000 or more, Owner shall comply with the provisions of Section 2270.001(2), Government Code that the Owner does not boycott Israel or that during the term of the Owner will not boycott Israel.

5.24. HB 1295 Compliance. Section 2252.908 of the Texas Government Code requires that for certain types of contracts, you must fill out a conflict of interest form (“Disclosure of Interested Parties”) at the time you submit your signed contract to the City. For further information please go to the Texas Ethics Commission website via the following link. https://www.ethics.state.tx.us/whatsnew/elf_info_form1295.htm. The City has no obligation under this Agreement until such form is accurately completed and properly submitted, and any City obligation is conditioned on such proper completion and submission.

5.25. Counterparts. This Agreement may be executed in multiple counterparts, which shall be construed together as a single original instrument as though all Parties had signed one instrument, and, when executed, each counterpart shall be binding upon and inure to the benefit of each of the Parties executing the instrument whether or not all other parties have executed same.

5.26 Authority. This Agreement is made and entered into pursuant to Section 212.172 of the Texas Local Government Code. The City and each Owner each represent and warrant that the persons whose signature appears below have the authority to execute this Agreement on behalf of the City and Owner, respectively.

5.27 Automatic Termination. Notwithstanding any provision to the contrary set out in this Agreement, in the event Owner fails to acquire fee simple title to the Property within ninety (90) days after the Effective Date of this Agreement, this Agreement shall automatically terminate and be of no further force or effect.

[REMAINDER OF PAGE INTENTIONALLY BLANK]

[SIGNATURES PROVIDED ON NEXT PAGE]

EXECUTED to be effective as of the Effective Date.

CITY:

CITY OF HUTTO, TEXAS,
a home rule city and municipal corporation

By: W.A. Hut
Name: Warren A. Hutmacher
Title: City Manager
Date: 10/7/21

APPROVED as to form:

By: [Signature]
Attorney for the City of Hutto
Date: 10/7/21

OWNER:

WMV NORTH HUTTO, LLC,
a Texas limited liability company

By: WayMaker Ventures, LLC,
a Texas limited liability company,
its Sole Member

By: [Signature]
Name: JAMES DOUGHERTY
Title: MANAGER
Date: 10/1/21

EXHIBIT A-1

Description of Tract 1

FIELD NOTES FOR A 106.918 ACRE TRACT OF LAND OUT OF THE JOHN DYKES SURVEY, ABSTRACT NO. 186 AND THE CANUTILLO COLONY DITCH COMPANY SURVEY, ABSTRACT NO. 693, WILLIAMSON COUNTY, TEXAS; BEING ALL OF THE CALLED 106.91 ACRE TRACT OF LAND AS CONVEYED TO JON MARK LIDELL, LYNN RUSSELL LIDELL AND MICHAEL CARL LIDELL BY SPECIAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 2002015476 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; SAID 106.918 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 1/2-inch iron rod found on the north right-of-way line of County Road 132 (variable width right-of-way) at the southwest corner of the above described Lidell 106.91-acre tract, at the southeast corner of the called 5.00 acre tract of land described as Tract 2 as conveyed to Guerrero Maverick, LLC by Special Warranty Deed recorded in Document Number 2019117600 of the Official Public Records of Williamson County, Texas, for the southwest corner and POINT OF BEGINNING of the herein described tract;

THENCE, with the west line of said Lidell 106.91-acre tract and the east line of said Guerrero Maverick 5.00-acre tract, and a called 50.27 acre tract of land described as Tract 1 as conveyed to Guerrero Maverick, LLC by said Special Warranty Deed recorded in Document Number 2019117600 of the Official Public Records of Williamson County, Texas, and the east line of the called 27.36 acre tract of land as conveyed to Howard R. Sladek and Brenda Sladek by Warranty Deed recorded in Volume 866, Page 661 of the Deed Records of Williamson County, Texas, and the east line of the called 14.00 acre tract of land as conveyed to Howard Ray Sladek by Contract of Sale and Purchase recorded in Volume 867, Page 747 of the Deed Records of Williamson County, Texas, N 21°38'12" W, a distance of 5,917.45 feet to a 1-inch iron rod found on the south line of the remainder of a called 163.89 acre tract of land as conveyed to Ricky D. Kruger, Brenda K. Sladek and Timothy R. Kruger by Executor's Deed recorded in Document Number 2016121073 of the Official Public Records of Williamson County, Texas, at the northeast corner of said Howard Ray Sladek 14.00-acre tract, for the northwest corner of the herein described tract of land;

THENCE, with the north line of said Lidell 106.91-acre tract and the south line of said Sladek remainder tract, N 68°25'37" E, a distance of 294.31 feet to an axle found at the southeast corner of said Sladek remainder tract, at the southwest corner of the called 14.502 acre tract of land as conveyed to Eagle Crest Investment, LLC by Special Warranty Deed with Vendor's Lien recorded in Document Number 2021007714 of the Official Public Records of Williamson County, Texas, for an angle point of the herein described tract;

THENCE, with the north line of said Lidell 106.91-acre tract and the south line of said Eagles Crest 14.502-acre tract, N 68°14'19" E, a distance of 466.23 feet to a 1-inch iron rod found at the northwest corner of the called 105.75 acre tract of land as conveyed to Charles Mervin Walker and Grace E. Walker by Warranty Deed recorded in Volume 484, Page 331 of the Deed Records of Williamson County, Texas, for the northeast corner of the herein described tract;

THENCE, with the east line of said Lidell 106.91-acre tract and the west line of said Walker 105.75-acre tract, S 21°37'44" E, a distance of 6,337.50 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set on the north right-of-way line of said County Road 132, at the southwest corner of said Walker 105.75-acre tract, for the southeast corner of the herein described tract;

THENCE, with the south line of said Lidell 106.91-acre tract and the north right-of-way line of said County Road 132, N 82°44'12" W, a distance of 867.72 feet to the POINT OF BEGINNING and containing 106.918 acres of land, more or less.

EXHIBIT A-2

Description of Tract 2

FIELD NOTES FOR A 76.317 ACRE TRACT OF LAND OUT OF THE JOHN DYKES SURVEY, ABSTRACT NO. 186, WILLIAMSON COUNTY, TEXAS; BEING A PORTION OF THE CALLED 105.75 ACRE TRACT OF LAND AS CONVEYED TO CHARLES MERVIN WALKER AND GRACE E. WALKER BY WARRANTY DEED RECORDED IN VOLUME 484, PAGE 331 OF THE DEED RECORDS OF WILLIAMSON COUNTY, TEXAS; SAID 76.317 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 2-inch iron pipe found on the westerly right-of-way line of County Road 133 at the occupied northeast corner of the above described Walker 105.75-acre tract, at the southeast corner of the called 1.86 acre tract of land described as Tract 2 as conveyed to Christopher J. and Ashley R. Salisbury by Warranty Deed recorded in Document Number 2012039498 of the Official Public Records of Williamson County, Texas, for the northeast corner and POINT OF BEGINNING of the herein described tract;

THENCE, with the westerly right-of-way line of said County Road 133, generally as occupied by farming activities, S 21°04'43" E, a distance of 588.64 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set for an angle point of the herein described tract;

THENCE, continuing with the occupied westerly right-of-way line of said County Road 133, S 21°25'30" E, a distance of 1,716.65 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set for an angle point of the herein described tract;

THENCE, continuing with the occupied westerly right-of-way line of said County Road 133, S 21°42'11" E, a distance of 1,716.64 feet to a 60D nail found for an angle point of the herein described tract;

THENCE, continuing with the occupied westerly right-of-way line of said County Road 133, S 21°27'07" E, a distance of 657.52 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set for the southeast corner of the herein described tract;

THENCE, departing the occupied westerly right-of-way line of said County Road 133, over and across said Walker 105.75-acre tract, S 68°32'53" W, a distance of 707.99 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set on the west line of said Walker 105.75-acre tract, being the easterly line of the called 106.91 acre tract of land as conveyed to Jon Mark Lidell, Lynn Russell Lidell and Michael C. Lidell by Special Warranty Deed recorded in Document Number 2002015476 of the Official Public Records of Williamson County, Texas, for the southwest corner of the herein described tract, from which a 1/2-inch iron rod with a cap stamped "BGE INC" set on the northerly right-of-way line of County Road 132 (variable width right-of-way) at the southeast corner of said Lidell 106.91-acre tract, for the southwest corner of said Walker 105.75-acre tract bears S 21°37'44" E, a distance of 1,660.35 feet;

THENCE, with the west line of said Walker 105.75-acre tract and the east line of said Lidell tract, N 21°37'44" W, a distance of 4,677.08 feet to a 1-inch iron rod found on the south line of the called 14.502 acre tract of land as conveyed to Eagle Crest Investment, LLC by Special Warranty Deed with Vendor's Lien recorded in Document Number 2021007714 of the Official Public Records of Williamson County, Texas, at the northwest corner of said Walker 105.75-acre tract, at the northeast corner of said Lidell 106.91-acre tract, for the northwest corner of the herein described tract, from which an axle found at the southwest corner of said Eagle Crest Investment, LLC 14.502-acre tract and at the southeast corner of the remainder of a called 163.89 acre tract of land as conveyed to Ricky D. Kruger, Brenda K. Sladek and Timothy R. Kruger by Executor's Deed recorded in Document Number 2016121073 of the Official Public Records of Williamson County, Texas, bears S 68°14'19" W, a distance of 466.23 feet;

THENCE, with the north line of said Walker 105.75-acre tract and the south line of said Eagle Crest Investment, LLC 14.502-acre tract, N 68°22'06" E, a distance of 493.20 feet to a 1/2-inch iron rod found at the southeast corner of said Eagle Crest Investment, LLC 14.502-acre tract and at the southwest corner of said Salisbury 1.86-acre tract, for an angle point of the herein described tract;

THENCE, with the north line of said Walker 105.75-acre tract and the south line of said Salisbury 1.86-acre tract, N 68°20'40" E, a distance of 226.35 feet to the POINT OF BEGINNING and containing 76.317 acres of land, more or less.

EXHIBIT A-3

Description of Tract 3

FIELD NOTES FOR A 65.281 ACRE TRACT OF LAND OUT OF THE JOHN DYKES SURVEY, ABSTRACT NO. 186 AND THE CANUTILLO COLONY DITCH COMPANY SURVEY, ABSTRACT NO. 693, WILLIAMSON COUNTY, TEXAS; BEING ALL OF THE CALLED 50.27 ACRE TRACT OF LAND DESCRIBED AS TRACT 1 AND ALL OF THE CALLED 5.00 ACRE TRACT OF LAND DESCRIBED AS TRACT 2 AS CONVEYED TO GUERRERO MAVERICK, LLC BY SPECIAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 2019117600 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS, AND ALL OF THE CALLED 9.88 ACRE TRACT OF LAND AS CONVEYED TO GUERRERO MAVERICK, LLC BY SPECIAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 2019118089 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; SAID 65.281 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 1/2-inch iron rod found on the north right-of-way line of County Road 132 (variable width right-of-way) at the southeast corner of the above described Guerrero Maverick 5.00-acre tract, at the southwest corner of the called 106.91 acre tract of land as conveyed to Jon Mark Lidell, Lynn Russell Lidell and Michael C. Lidell by Special Warranty Deed recorded in Document Number 2002015476 of the Official Public Records of Williamson County, Texas, for the southeast corner and POINT OF BEGINNING of the herein described tract;

THENCE, with the north right-of-way line of said County Road 132, N 83°08'58" W, a distance of 406.40 feet to a 1/2-inch iron rod with a cap stamped "TLS" found at the northeast corner of a fifteen (15) right-of-way tract as dedicated by plat of RIVER CROSSING SUBDIVISION PHASE THREE, a subdivision as recorded in Cabinet X, Slides 249-252 of the Plat Records of Williamson County, Texas, for an angle point of the herein described tract;

THENCE, with the north line of said RIVER CROSSING SUBDIVISION PHASE THREE, N 82°26'38" W, pass a 1/2-inch iron rod with a cap stamped "RPLS 2218" found at the northeast corner of Lot 11, Block J of said RIVER CROSSING SUBDIVISION PHASE THREE at a distance of 15.00 feet, pass a 1/2-inch iron rod with a cap stamped "RPLS 2218" found at the common north corner of Lots 9 and 10, Block J of said RIVER CROSSING SUBDIVISION PHASE THREE at a distance of 233.17 feet, and continuing on for a total distance of 524.18 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set for the southwest corner of the herein described tract, from which a 1/2-inch iron rod found on the north line of said RIVER CROSSING SUBDIVISION PHASE THREE subdivision bears N 82°26'38" W a distance of 653.49 feet;

THENCE, departing the north line of said RIVER CROSSING SUBDIVISION PHASE THREE with the west line of a called 107 Acre parent tract as described in Volume 309, Page 269 of the Deed Records of Williamson County, Texas, N 21°39'45" W, a distance of 3,121.05 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set at the northwest corner of said Guerrero Maverick 50.27-acre tract, at the southwest corner of a called 27.36 acre tract of land as conveyed to Howard R. Sladek and Brenda Sladek by Warranty Deed recorded in Volume 866, Page 661 of the Deed Records of Williamson County, Texas, for the northwest corner of the herein described tract, from which a 1/2-inch iron rod found bears N 21°39'45" W a distance of 250.62 feet and from which a 1-inch iron pipe found at the northwest corner of said 107-Acre parent tract bears N 21°39'45" W a distance of 2,346.24 feet;

THENCE, with the north line of said Guerrero Maverick 50.27-acre tract and the south line of said Sladek 27.36-acre tract, N 49°28'29" E, a distance of 862.66 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set on the west line of the aforementioned Lidell 106.91-acre tract, at the northeast corner of said Guerrero Maverick 50.27-acre tract and the southeast corner of said Sladek 27.36-acre tract, for the northeast corner of the herein described tract, from which a 1-inch iron rod found at the northwest corner of said Lidell 106.91-acre tract bears N 21°38'12" W a distance of 2,067.62 feet;

THENCE, with the east lines of said Guerrero Maverick 50.27-acre tract and 5.00-acre tract and the west line of said Lidell 106.91-acre tract, S 21°38'12" E, a distance of 3,849.83 feet to the POINT OF BEGINNING and containing 65.281 acres of land, more or less.

EXHIBIT A-4

Description of Tract 4

FIELD NOTES FOR A 14.504 ACRE TRACT OF LAND OUT OF THE JOHN DYKES SURVEY, ABSTRACT NO. 186, WILLIAMSON COUNTY, TEXAS; BEING ALL OF THE CALLED 14.502 ACRE TRACT OF LAND AS CONVEYED TO EAGLE CREST INVESTMENT, LLC BY SPECIAL WARRANTY DEED WITH VENDOR'S LIEN RECORDED IN DOCUMENT NUMBER 2021007714 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; SAID 14.504 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 1/2-inch iron rod found on the southerly right-of-way line of F.M. 1660 (variable width right-of-way) on the east line of the remaining portion of a called 163.89 acre tract of land as conveyed to Ricky D. Kruger, Brenda K. Sladek and Timothy R. Kruger by Executor's Deed recorded in Document Number 2016121073 of the Official Public Records of Williamson County, Texas, at the northwest corner of said Eagle Crest Investment 14.502-acre tract, for the northwest corner and POINT OF BEGINNING of the herein described tract;

THENCE, with the southerly right-of-way line of said F.M. 1660 and the northerly line of said Eagle Crest Investment 14.502-acre tract, N 68°21'24" E a distance of 458.18 feet to a 1/2-inch iron rod found at the west corner of a called 4.64 acre tract of land described as Tract 1 as conveyed to Christopher J. Salisbury and Ashley R. Salisbury by Warranty Deed with Vendor's Lien recorded in Document Number 2012039498 of the Official Public Records of Williamson County, Texas, at the northeast corner of said Eagle Crest Investment, LLC tract, for the north corner of the herein described tract;

THENCE, departing the southerly right-of-way line of said F.M. 1660 with the west line of said Salisbury 4.64-acre tract and the east line of said Eagle Crest Investment 14.502-acre tract, S 70°18'11" E a distance of 648.99 feet to a 1/2-inch iron rod found at the southwest corner of said Salisbury 4.64-acre tract, at the northwest corner of a called 1.86 acre tract of land described as Tract 2 as conveyed to Christopher J. Salisbury and Ashley R. Salisbury by said Warranty Deed with Vendor's Lien recorded in Document Number 2012039498 of the Official Public Records of Williamson County, Texas, at an easterly corner of said Eagle Crest Investment 14.502-acre tract, for an easterly corner of the herein described tract;

THENCE, with the west line of said Salisbury 1.86-acre tract and the east line of said Eagle Crest Investment 14.502-acre tract, S 23°07'16" E a distance of 346.30 feet to a 1/2-inch iron rod found on the northerly line of a called 105.75 acre tract of land as conveyed to Charles Mervin Walker and Grace E. Walker by Warranty Deed recorded in Volume 484, Page 331 of the Deed Records of Williamson County, Texas, at the southeast corner of said Eagle Crest Investment 14.502-acre tract, for the southeast corner of the herein described tract, from which a 2-inch iron pipe found on the westerly right-of-way line of County Road 133 (variable width right-of-way) for the southeast corner of said Salisbury 1.86-acre tract bears N 68°20'40" E a distance of 226.35 feet;

THENCE, with the northerly line of said Walker 105.75-acre tract and the southerly line of said Eagle Crest Investment 14.502-acre tract, S 68°22'06" W a distance of 493.20 feet to a 1-inch iron rod found at the northwest corner of said Walker 105.75-acre tract and the northeast corner of a called 106.91 acre tract of land as conveyed to Jan Mark Lidell, Lynn Russell Lidell and Michael C. Lidell by Special Warranty Deed recorded in Document Number 2002015476 of the Official Public Records of Williamson County, Texas, for an angle point of the herein described tract;

THENCE, with the northerly line of said Lidell 106.91-acre tract and the southerly line of said Eagle Crest Investment 14.502-acre tract, S 68°14'19" W a distance of 466.23 feet to an axle found at the southeast corner the aforementioned Kruger remainder tract and at the southwest corner of said Eagle Crest Investment 14.502-acre tract, for the southwest corner of the herein described tract, from which a 1-inch iron rod found at the northwest corner of said Lidell 106.91-acre tract bears S 68°25'37" W a distance of 294.31 feet;

THENCE, with the easterly line of said Kruger remainder tract and the westerly line of said Eagle Crest Investment 14.502-acre tract, N 21°16'12" W a distance of 775.74 feet to the POINT OF BEGINNING and containing 14.504 acres of land, more or less.

EXHIBIT C-1

Peterson Tract I

FIELD NOTES FOR A 199.464 ACRE TRACT OF LAND IN THE JOHN DYKES SURVEY, ABSTRACT NO. 186, WILLIAMSON COUNTY, TEXAS; BEING ALL OF THE CALLED 30.00 ACRE TRACT OF LAND DESCRIBED AS TRACT TWO AND ALL OF THE CALLED 170.00 ACRE TRACT OF LAND DESCRIBED AS TRACT THREE AS CONVEYED TO HILDA J. PETERSON, TRUSTEE, THE PETERSON FAMILY TRUST-DECEDENT'S TRUST B, BY SPECIAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 2018022732 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; SAID 199.464 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 1/2-inch iron rod found in the westerly right-of-way line of F.M. 1660 (variable width right-of-way) at the southeast corner of the above described Peterson 30-acre tract, at the northeast corner of the called 26.981 acre tract of land as conveyed to Hjalmar, LLC by General Warranty Deed recorded in Document Number 2010055556 of the Official Public Records of Williamson County, Texas, for the southeast corner and POINT OF BEGINNING of the herein described tract;

THENCE, with the northwest line of said Hjalmar, LLC 26.981-acre tract, S 68°45'34" W, a distance of 1,581.56 feet to a 5/8-inch iron rod found at the northwest corner of said Hjalmar, LLC 26.981-acre tract and the most northerly northeast corner of the called 62.956-acre tract of land as conveyed to Marvin Sturm and Iola Sturm by Deed with Vendor's Lien recorded in Volume 1174, Page 282 of the Official Records of Williamson County, Texas, for an angle point of the herein described tract;

THENCE, with the northwest line of said Sturm 62.956-acre tract, S 68°33'43" W, a distance of 995.91 feet to a 1-1/2-inch iron pipe found at the northwest corner of said Sturm 62.956-acre tract and the northeast corner of the called 181.663-acre tract of land as conveyed to WLH Communities-Texas LLC by Special Warranty Deed recorded in Document Number 2019027650 of the Official Public Records of Williamson County, Texas, for an angle point of the herein described tract;

THENCE, with the northwest line of said WLH Communities-Texas LLC 181.663-acre tract, S 68°19'24" W, a distance of 1,138.76 feet to a 1/2-inch iron rod with a cap stamped "RJ SURVEYING" found in northwest line of said WLH Communities-Texas LLC 181-663-acre tract, at the southeast corner of the called 44.37-acre tract of land as conveyed to Ronald Albert Smith and Janice H. Smith by Warranty Deed with Vendor's Lien recorded in Volume 2267, Page 16 of the Official Records of Williamson County, Texas, at the southwest corner of the above described Peterson 170.00-acre tract, for the southwest corner of the herein described tract;

THENCE, with the east line of said Smith 44.37-acre tract, N 21°26'45" W, a distance of 881.63 feet to a 3/8-inch iron rod found at the most easterly northeast corner of said Smith 44.37-acre tract, at the southeast corner of Lot 2, STEVE HESTER SUBDIVISION, a subdivision as recorded in Cabinet I, Slides 391-392 of the Plat Records of Williamson County, Texas, for an angle point of the herein described tract;

THENCE, with an east line of said Lot 2, N 21°30'33" W, a distance of 614.01 feet to a 1/2-inch iron rod found at the most easterly northeast corner of said Lot 2, at the southeast corner of the called 4.98 acre tract of land as conveyed to Carl Seagreen and Beverly Seagreen by Warranty Deed with Vendor's Lien recorded in Document Number 2013107733 of the Official Public Records of Williamson County, Texas, for an angle point of the herein described tract;

THENCE, with the east line of said Seagreen 4.98-acre tract, N 21°29'52" W, a distance of 839.60 feet to a 1/2-inch iron rod found in the southerly right-of-way line of County Road 100 (variable width right-of-way) at the northeast corner of said Seagreen 4.98-acre tract, at the northwest corner of said Peterson 170.00-acre tract, for the northwest corner of the herein described tract;

THENCE, with the southerly right-of-way line of said County Road 100, N 68°27'18" E, a distance of 3,730.07 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set at the intersection of the southerly right-of-way line of said County Road 100 with the westerly right-of-way line of the south fork of County Road 100 (variable width right-of-way), for the northeast corner of the herein described tract;

THENCE, with the westerly right-of-way line of the south fork of said County Road 100, S 21°30'32" E, a distance of 670.80 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set at the intersection of the westerly right-of-way line of the south fork of said County Road 100 with the westerly right-of-way line of said FM 1660, for an outside corner of the herein described tract;

THENCE, with the westerly right-of-way line of said FM 1660, S 68°29'28" W, a distance of 15.00 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set for an inside corner of the herein described tract;

THENCE, with the westerly right-of-way line of said FM 1660, S 21°30'32" E, a distance of 1,672.10 feet to the POINT OF BEGINNING and containing 199.464 acres of land, more or less.

EXHIBIT C-2

Peterson Tract 2

FIELD NOTES FOR A 27.009 ACRE TRACT OF LAND IN THE JOHN DYKES SURVEY, ABSTRACT NO. 186, WILLIAMSON COUNTY, TEXAS; BEING ALL OF THE CALLED 26.981 ACRE TRACT OF LAND AS CONVEYED TO HJALMAR, LLC BY GENERAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 2010055556 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; SAID 27.009 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 1/2-inch iron rod found on the westerly right-of-way line of F.M. 1660 (variable width right-of-way) at the northeast corner of the above described Hjalmar, LLC 27.041-acre tract, at the southeast corner of the called 30.00 acre tract of land described as Tract Two as conveyed to Hilda J. Peterson, Trustee, The Peterson Family Trust-Decedent's Trust B, by Special Warranty Deed recorded in Document Number 2018022732 of the Official Public Records of Williamson County, Texas, for the northeast corner and POINT OF BEGINNING of the herein described tract;

THENCE, with the westerly right-of-way line of said FM 1660, S 21°06'38" E a distance of 743.00 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set at the southeast corner of said Hjalmar, LLC 27.041-acre tract, at the most easterly northeast corner of the called 62.956 acre tract of land as conveyed to Marvin Sturm and Iola Sturm by Deed with Vendor's Lien recorded in Volume 1174, Page 282 of the Official Records of Williamson County, Texas, for the southeast corner of the herein described tract;

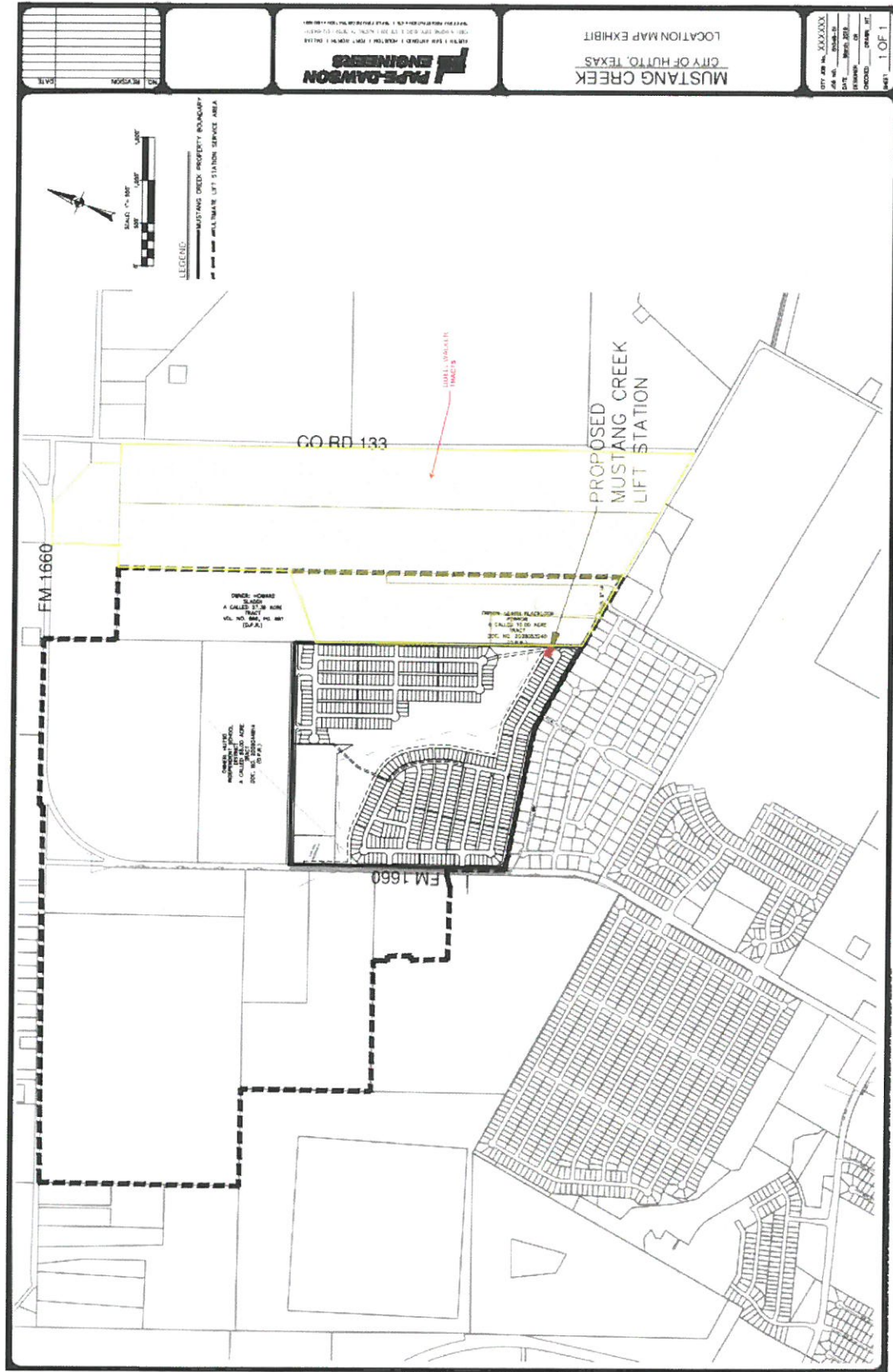
THENCE, departing the westerly right-of-way line of FM 1669 with a northwest line of the Sturm 62.956-acre tract, S 68°42'06" W a distance of 1,581.94 feet to a 1/2-inch iron rod found at the southwest corner of said Hjalmar, LLC 27.041-acre tract, at an interior corner of said Sturm 62.956-acre tract, for the southwest corner of the herein described tract;

THENCE, with a northeast line of the Sturm 62.956-acre tract, N 21°04'53" W a distance of 744.60 feet to a 5/8-inch iron rod found on the southerly line of the called 170.00 acre tract of land described as Tract Three as conveyed to Hilda J. Peterson, Trustee, The Peterson Family Trust-Decedent's Trust B, by said Special Warranty Deed recorded in Document Number 2018022732 of the Official Public Records of Williamson County, Texas, at the northwest corner of said Hjalmar, LLC 26.981-acre tract, at the northeast corner of said Sturm 62.956-acre tract, for the northwest corner of the herein described tract;

THENCE, with the southwest lines of said Peterson 170.00-acre tract and 30.00-acre tract, N 68°45'34" E a distance of 1,581.56 feet to the POINT OF BEGINNING and containing 27.009 acres of land, more or less.

EXHIBIT D

Wastewater Lift Station



{W1064149.5}

Exhibit D

PLAT-26-0014-LIDELLWALKER-PH5-FP(5-25/27/2026 6)

Attendees

Forrest Williams (Forrest.Williams@HuttoTX.gov)
sandip (Sandip.Uprety@HuttoTX.gov)
Todd Meaker (Todd.Meaker@HuttoTX.gov)
Manny Hernandez (Manny.Hernandez@HuttoTX.gov)

Documents

Lidell Walker Ph 5_FP_U1.pdf
Engineering Comments on Lidell Walker PLAT-26-0014.pdf

Planning Review by:
Emmanuel Hernandez
Manny.Hernandez@huttotx.gov
512-365-9198

No
Comments
05/27/2026 2:48:16
PM

Show on the Plat the Atlas-14 based 1% annual chance floodplain. Use HEC-RAS analysis as necessary.

Refer. Wilco Floodplain Maps

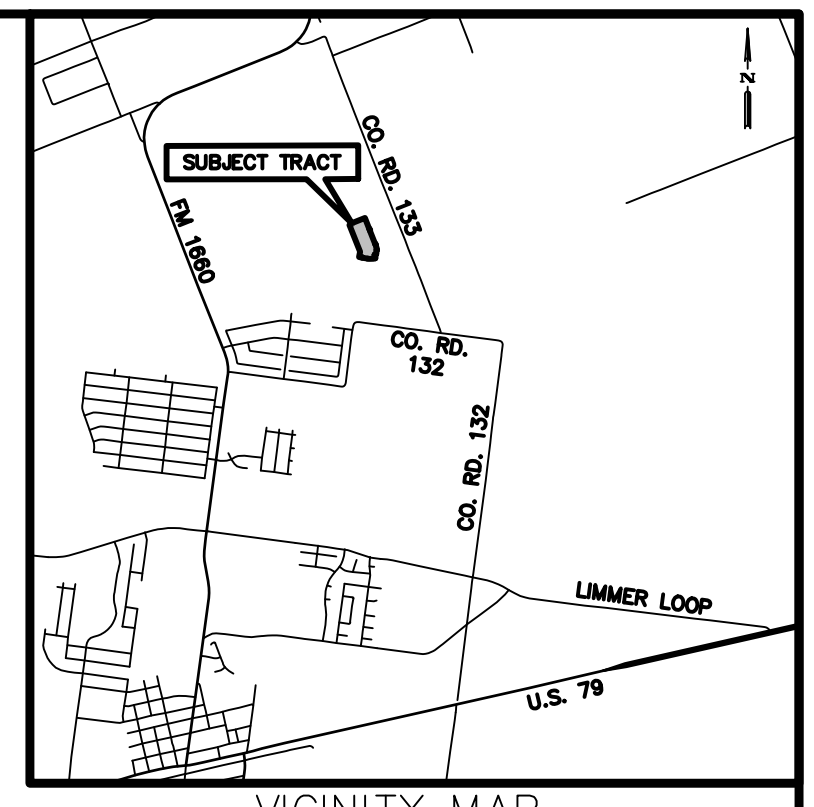
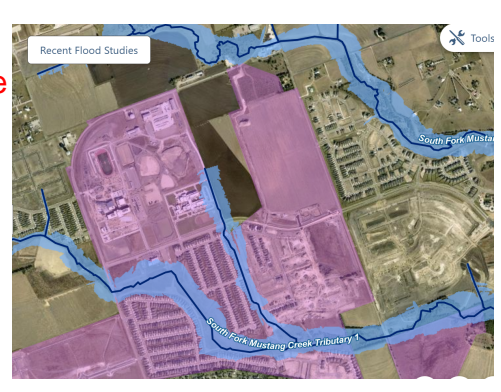
Please review the attached engineering comments regarding the drainage and 100-year floodplain requirements. Revise the plat notes to clearly indicate that portions of the tracts are impacted by the 100-year floodplain based on Atlas-14 rainfall data.

There is also a comment regarding the stormwater management fee, which has not yet been assessed for this project. The City will provide further communication regarding this matter.

ENGINEERING REVIEW
05/20/2026 1:58:42 PM

Review is for general compliance only.
Sole responsibility for correctness
remains with the Engineer of Record.

No exceptions taken
 Approved with conditions
 Denied, Revise and Resubmit



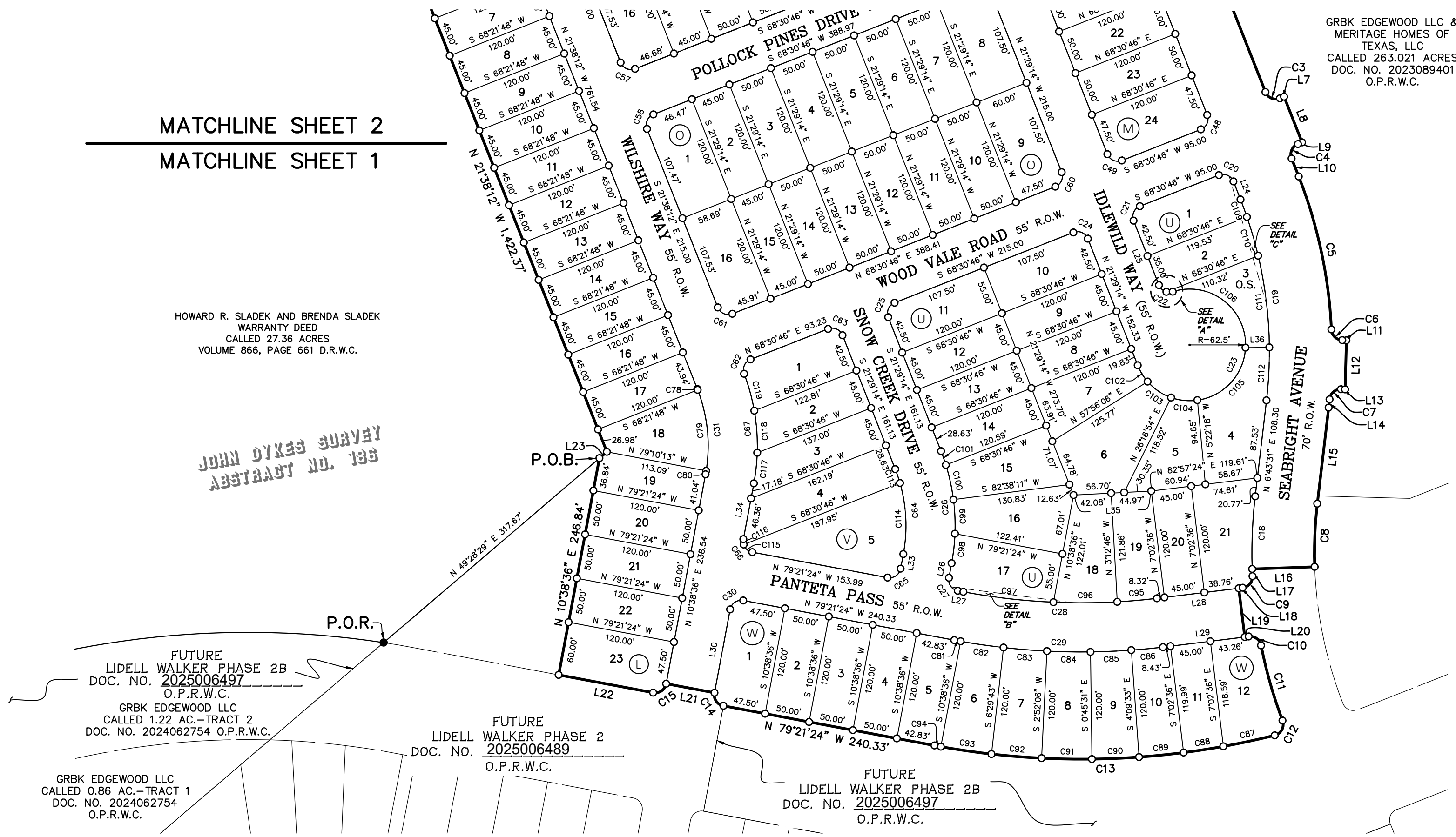
VICINITY MAP
NOT TO SCALE

GRBK EDGEWOOD LLC &
MERITAGE HOMES OF
TEXAS, LLC
CALLED 263.021 ACRES
DOC. NO. 2023089401
O.P.R.W.C.

MATCHLINE SHEET 2
MATCHLINE SHEET 1

HOWARD R. SLADEK AND BRENDA SLADEK
WARRANTY DEED
CALLED 27.36 ACRES
VOLUME 866, PAGE 661 D.R.W.C.

JOHN DYKES SURVEY
ABSTRACT NO. 186



FUTURE
LIDELL WALKER PHASE 2B
DOC. NO. 2025006497
O.P.R.W.C.

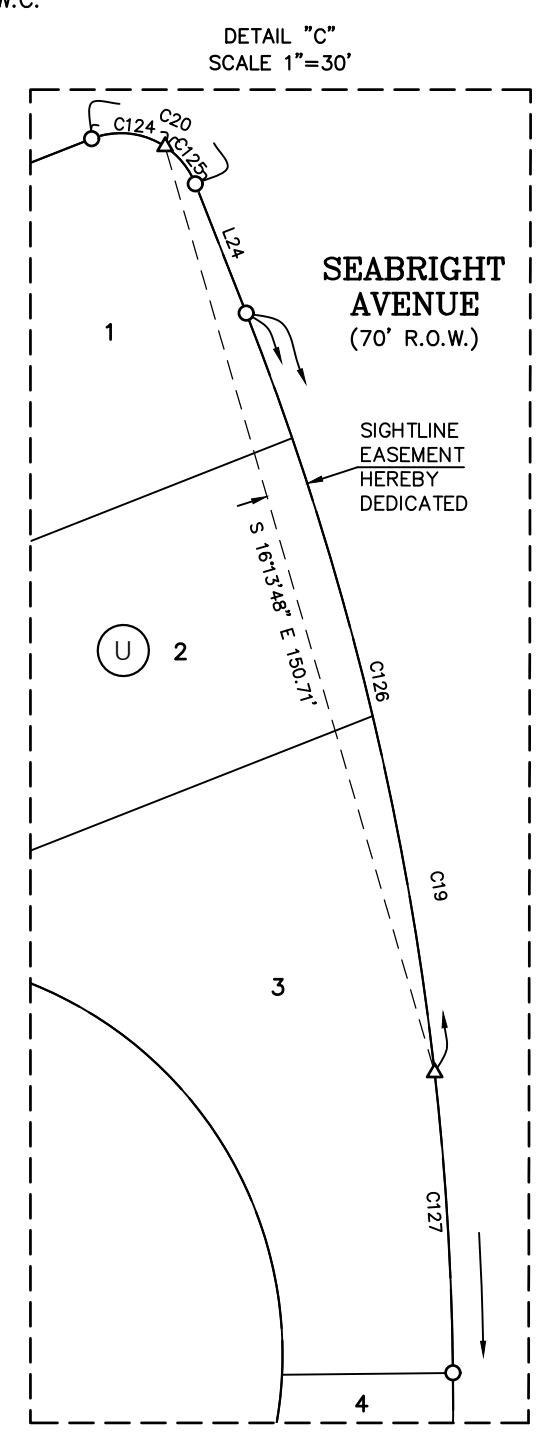
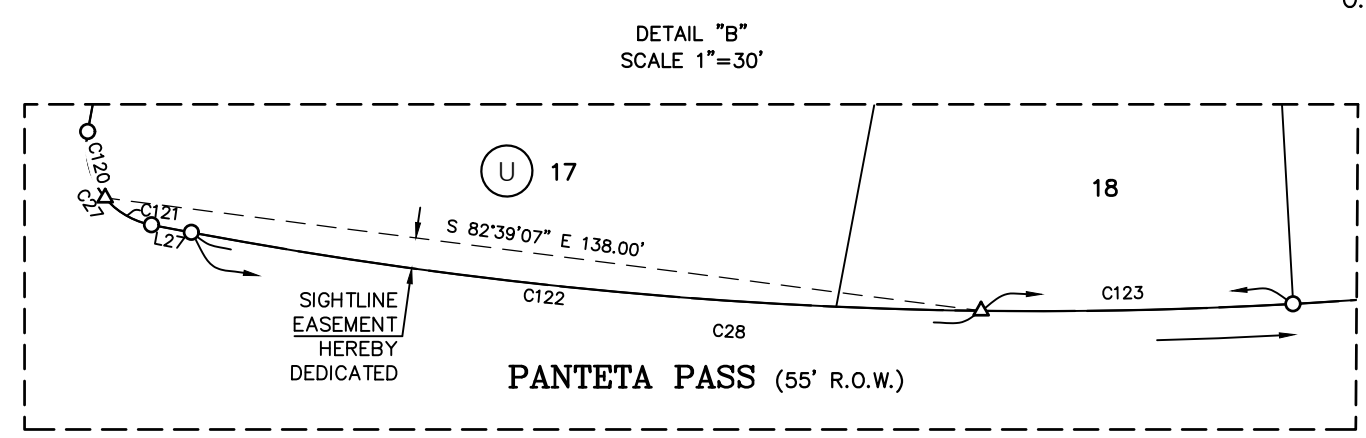
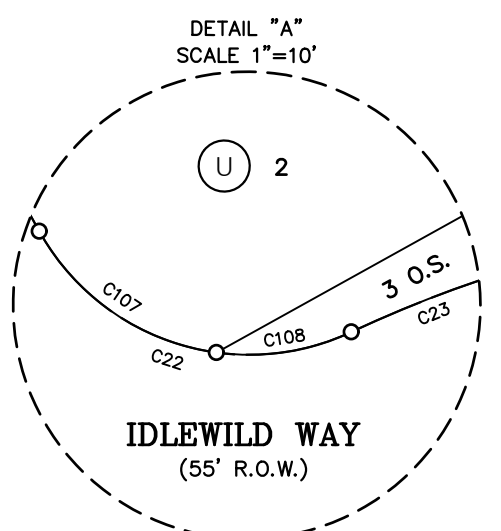
GRBK EDGEWOOD LLC
CALLED 1.22 AC.—TRACT 2
DOC. NO. 2024062754 O.P.R.W.C.

GRBK EDGEWOOD LLC
CALLED 0.86 AC.—TRACT 1
DOC. NO. 2024062754
O.P.R.W.C.

FUTURE
LIDELL WALKER PHASE 2
DOC. NO. 2025006489
O.P.R.W.C.

FUTURE
LIDELL WALKER PHASE 2B
DOC. NO. 2025006497
O.P.R.W.C.

GRBK EDGEWOOD LLC &
MERITAGE HOMES OF TEXAS, LLC
CALLED 263.021 ACRES
DOC. NO. 2023089401
O.P.R.W.C.



LAND USE SCHEDULE		
DESCRIPTION	NO.	ACREAGE
RESIDENTIAL	172	24.093 AC.
OPEN SPACE	2	0.142 AC.
RIGHT-OF-WAY	-	12.339 AC.
TOTAL	174	36.574 AC.

- LEGEND**
- D.E. DRAINAGE EASEMENT
 - CAB. CABINET
 - DOC. DOCUMENT
 - D.R.W.C. DEED RECORDS OF WILLIAMSON COUNTY
 - ELEC. ELECTRIC EASEMENT
 - ESMT. EASEMENT
 - NO. NUMBER
 - NOS. NUMBERS
 - O.S. OPEN SPACE
 - O.P.R.W.C. OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY
 - O.R.W.C. OFFICIAL RECORDS OF WILLIAMSON COUNTY
 - PG. PAGE
 - P.O.B. POINT OF BEGINNING
 - P.O.R. POINT OF REFERENCE
 - P.R.W.C. PLAT RECORDS OF WILLIAMSON COUNTY
 - R.O.W. RIGHT-OF-WAY
 - VOL. VOLUME
 - W.W.L.E. WASTEWATER LINE EASEMENT
 - FOUND 1/2" IRON ROD
 - SET 1/2" IRON ROD W/CAP STAMPED "BGE INC"
 - △ CALCULATED POINT
 - ~ SCALE BREAK SYMBOL

OWNERS:
GRBK EDGEWOOD LLC
5501 HEADQUARTERS DRIVE, SUITE 300W
PLANO, TEXAS 75024
TEL: (469) 573-6721

MERITAGE HOMES OF TEXAS, LLC
12301 RESEARCH BLVD.
BUILDING 4, SUITE 400
AUSTIN, TEXAS 78759
TEL: (737) 309-5487

SURVEYOR:
BGE, INC.
101 W. LOUIS HENNA BLVD, STE 400
AUSTIN, TEXAS 78728
TEL: 512-879-0400

ENGINEER:
GRAY ENGINEERING, INC.
8834 N CAPITAL OF TEXAS HIGHWAY,
SUITE 140
AUSTIN, TEXAS 78759
TEL: 512-452-0371

FINAL PLAT LIDELL WALKER PHASE 5

A SUBDIVISION OF 36.574 ACRES OF LAND
LOCATED IN THE
JOHN DYKES SURVEY, ABSTRACT NO. 186
WILLIAMSON COUNTY, TEXAS



BGE, Inc.
101 West Louis Henna Blvd., Suite 400
Austin, Texas 78728
Tel: 512-879-0400 • www.bgeinc.com
TBPELS Registration No. F-1046
TBPELS Licensed Surveying Firm No. 10106502



BEARING BASIS NOTE:
 BEARING ORIENTATION IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE 4203, NAD83. DISTANCES SHOWN HEREON ARE IN SURFACE COMBINED SCALE FACTOR = 0.99988116

RICKY D. KRUGER, BRENDA K. SLADEK & TIMOTHY R. KRUGER
 REMAINDER OF A CALLED 163.89 AC.
 DOC. NO. 2016121073, O.P.R.W.C.

AS DESCRIBED IN
 VOLUME 491, PAGE 547
 O.R.W.C.

GRBK EDGEWOOD LLC & MERITAGE HOMES OF TEXAS, LLC
 CALLED 263.021 ACRES
 DOC. NO. 2023089401
 O.P.R.W.C.

HOWARD RAY SLADEK
 CALLED 14.00 AC.
 DOC. NO. 2022081293
 O.P.R.W.C.

AS DESCRIBED IN
 VOL. 867, PG. 747
 D.R.W.C.

HOWARD R. SLADEK AND BRENDA SLADEK
 REMAINDER OF A CALLED 27.36 ACRES
 VOLUME 866, PAGE 661 D.R.W.C.

JOHN DYKES SURVEY
 ABSTRACT NO. 186

GRBK EDGEWOOD LLC & MERITAGE HOMES OF TEXAS, LLC
 CALLED 263.021 ACRES
 DOC. NO. 2023089401
 O.P.R.W.C.

MATCHLINE SHEET 2
 MATCHLINE SHEET 1

LEGEND

- | | |
|------------|----------------------------------------------|
| D.E. | DRAINAGE EASEMENT |
| CAB. | CABINET |
| DOC. | DOCUMENT |
| D.R.W.C. | DEED RECORDS OF WILLIAMSON COUNTY |
| ELEC. | ELECTRIC |
| ESMT. | EASEMENT |
| NO. | NUMBER |
| NOS. | NUMBERS |
| O.S. | OPEN SPACE |
| O.P.R.W.C. | OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY |
| O.R.W.C. | OFFICIAL RECORDS OF WILLIAMSON COUNTY |
| PG. | PAGE |
| P.O.B. | POINT OF BEGINNING |
| P.O.R. | POINT OF REFERENCE |
| P.R.W.C. | PLAT RECORDS OF WILLIAMSON COUNTY |
| R.O.W. | RIGHT-OF-WAY |
| VOL. | VOLUME |
| W.W.L.E. | WASTEWATER LINE EASEMENT |
| ● | FOUND 1/2" IRON ROD |
| ○ | SET 1/2" IRON ROD W/CAP STAMPED "BGE INC" |
| △ | CALCULATED POINT |
| ⋈ | SCALE BREAK SYMBOL |

FINAL PLAT
LIDELL WALKER
PHASE 5

A SUBDIVISION OF 36.574 ACRES OF LAND
 LOCATED IN THE
 JOHN DYKES SURVEY, ABSTRACT NO. 186
 WILLIAMSON COUNTY, TEXAS



BGE, Inc.
 101 West Louis Henna Blvd., Suite 400
 Austin, Texas 78728
 Tel: 512-879-0400 • www.bgeinc.com
 TBPELS Registration No. F-1046
 TBPELS Licensed Surveying Firm No. 10106502

R - RESIDENTIAL O.S. - OPEN SPACE

LOT AREA TABLE			
LOT	BLOCK	SQ. FT.	TYPE
38	A	5,400	R
39	A	5,400	R
40	A	5,400	R
41	A	5,400	R
42	A	5,400	R
43	A	5,400	R
44	A	5,400	R
45	A	5,400	R
46	A	5,400	R
47	A	5,400	R
48	A	5,400	R
49	A	6,585	R

LOT AREA TABLE			
LOT	BLOCK	SQ. FT.	TYPE
19	L	5,394	R
20	L	6,000	R
21	L	6,000	R
22	L	6,000	R
23	L	7,166	R

LOT AREA TABLE			
LOT	BLOCK	SQ. FT.	TYPE
1	U	6,530	R
2	U	5,286	R
3	U	4,404	O.S.
4	U	8,458	R
5	U	5,991	R
6	U	9,298	R
7	U	6,352	R
8	U	5,400	R
9	U	5,400	R
10	U	6,566	R
11	U	6,566	R
12	U	5,400	R
13	U	5,400	R
14	U	5,403	R
15	U	6,845	R
16	U	7,456	R
17	U	7,214	R
18	U	6,881	R
19	U	5,937	R
20	U	5,400	R
21	U	7,489	R

LOT AREA TABLE			
LOT	BLOCK	SQ. FT.	TYPE
1	M	6,548	R
2	M	5,400	R
3	M	5,400	R
4	M	5,400	R
5	M	5,400	R
6	M	5,400	R
7	M	5,400	R
8	M	5,400	R
9	M	5,263	R
10	M	5,833	R
11	M	10,309	R
12	M	8,052	R
13	M	4,981	R
14	M	5,400	R
15	M	5,400	R
16	M	5,400	R
17	M	1,800	O.S.
18	M	6,000	R
19	M	6,000	R
20	M	6,000	R
21	M	6,000	R
22	M	6,000	R
23	M	6,000	R
24	M	7,133	R

LOT AREA TABLE			
LOT	BLOCK	SQ. FT.	TYPE
1	V	6,504	R
2	V	5,807	R
3	V	6,694	R
4	V	7,927	R
5	V	10,451	R

LOT AREA TABLE			
LOT	BLOCK	SQ. FT.	TYPE
1	N	7,120	R
2	N	5,400	R
3	N	6,000	R
4	N	6,000	R
5	N	6,000	R
6	N	6,000	R
7	N	6,000	R
8	N	7,091	R
9	N	7,166	R
10	N	6,000	R
11	N	6,000	R
12	N	6,000	R
13	N	6,000	R
14	N	6,000	R
15	N	5,400	R
16	N	7,083	R

LOT AREA TABLE			
LOT	BLOCK	SQ. FT.	TYPE
1	W	7,133	R
2	W	6,000	R
3	W	6,000	R
4	W	6,000	R
5	W	6,000	R
6	W	6,350	R
7	W	6,305	R
8	W	6,305	R
9	W	5,911	R
10	W	5,642	R
11	W	5,377	R
12	W	7,113	R

LOT AREA TABLE			
LOT	BLOCK	SQ. FT.	TYPE
1	N	7,120	R
2	N	5,400	R
3	N	6,000	R
4	N	6,000	R
5	N	6,000	R
6	N	6,000	R
7	N	6,000	R
8	N	7,091	R
9	N	7,166	R
10	N	6,000	R
11	N	6,000	R
12	N	6,000	R
13	N	6,000	R
14	N	6,000	R
15	N	5,400	R
16	N	7,083	R

LOT AREA TABLE			
LOT	BLOCK	SQ. FT.	TYPE
1	O	7,027	R
2	O	5,400	R
3	O	6,000	R
4	O	6,000	R
5	O	6,000	R
6	O	6,000	R
7	O	6,000	R
8	O	7,166	R
9	O	7,166	R
10	O	6,000	R
11	O	6,000	R
12	O	6,000	R
13	O	6,000	R
14	O	6,000	R
15	O	5,400	R
16	O	6,990	R

LOT AREA TABLE			
LOT	BLOCK	SQ. FT.	TYPE
1	H	6,599	R
2	H	5,438	R
3	H	5,438	R
4	H	5,438	R
5	H	5,438	R
6	H	5,438	R
7	H	5,438	R
8	H	5,438	R
9	H	5,306	R
10	H	6,418	R
11	H	11,263	R
12	H	7,238	R
13	H	5,056	R
14	H	6,000	R
15	H	6,000	R
16	H	6,000	R
17	H	7,133	R

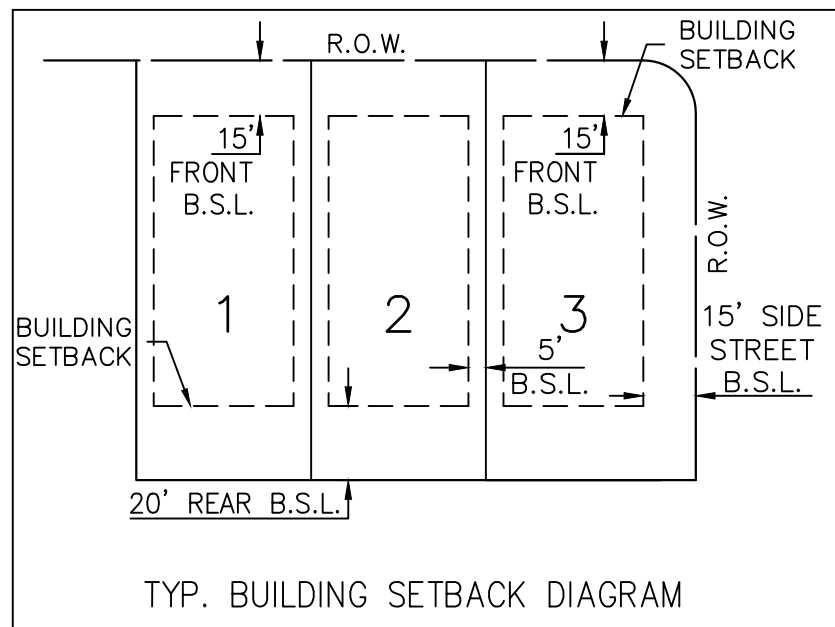
LOT AREA TABLE			
LOT	BLOCK	SQ. FT.	TYPE
1	O	7,027	R
2	O	5,400	R
3	O	6,000	R
4	O	6,000	R
5	O	6,000	R
6	O	6,000	R
7	O	6,000	R
8	O	7,166	R
9	O	7,166	R
10	O	6,000	R
11	O	6,000	R
12	O	6,000	R
13	O	6,000	R
14	O	6,000	R
15	O	5,400	R
16	O	6,990	R

LOT AREA TABLE			
LOT	BLOCK	SQ. FT.	TYPE
1	O	7,027	R
2	O	5,400	R
3	O	6,000	R
4	O	6,000	R
5	O	6,000	R
6	O	6,000	R
7	O	6,000	R
8	O	7,166	R
9	O	7,166	R
10	O	6,000	R
11	O	6,000	R
12	O	6,000	R
13	O	6,000	R
14	O	6,000	R
15	O	5,400	R
16	O	6,990	R

LOT AREA TABLE			
LOT	BLOCK	SQ. FT.	TYPE
1	O	7,027	R
2	O	5,400	R
3	O	6,000	R
4	O	6,000	R
5	O	6,000	R
6	O	6,000	R
7	O	6,000	R
8	O	7,166	R
9	O	7,166	R
10	O	6,000	R
11	O	6,000	R
12	O	6,000	R
13	O	6,000	R
14	O	6,000	R
15	O	5,400	R
16	O	6,990	R

LOT AREA TABLE			
LOT	BLOCK	SQ. FT.	TYPE
1	L	6,594	R
2	L	5,400	R
3	L	5,400	R
4	L	5,400	R
5	L	5,400	R
6	L	5,400	R
7	L	5,400	R
8	L	5,400	R
9	L	5,400	R
10	L	5,400	R
11	L	5,400	R
12	L	5,400	R
13	L	5,400	R
14	L	5,400	R
15	L	5,400	R
16	L	5,400	R
17	L	5,400	R
18	L	6,921	R

LOT AREA TABLE			
LOT	BLOCK	SQ. FT.	TYPE
1	L	6,594	R
2	L	5,400	R
3	L	5,400	R
4	L	5,400	R
5	L	5,400	R
6	L	5,400	R
7	L	5,400	R
8	L	5,400	R
9	L	5,400	R
10	L	5,400	R
11	L	5,400	R
12	L	5,400	R
13	L	5,400	R
14	L	5,400	R
15	L	5,400	R
16	L	5,400	R
17	L	5,400	R
18	L	6,921	R



LINE TABLE		
NUMBER	BEARING	DISTANCE
L1	N 68°21'48" E	120.00'
L2	N 21°38'12" W	40.40'
L3	N 68°21'48" E	55.00'
L4	N 68°30'46" E	5.00'
L5	S 21°29'14" E	70.00'
L6	S 68°30'46" W	5.00'
L7	N 68°30'46" E	5.00'
L8	S 21°29'14" E	55.00'
L9	S 68°30'46" W	5.00'
L10	S 21°29'14" E	21.69'
L11	S 88°27'36" E	4.58'
L12	S 01°32'24" W	55.00'
L13	N 88°27'36" W	4.58'
L14	S 06°13'39" W	9.30'
L15	S 06°43'31" W	108.30'
L16	S 88°00'19" W	70.00'
L17	S 02°25'26" E	8.01'
L18	S 82°57'24" W	4.50'
L19	S 07°02'36" E	55.00'

LINE TABLE		
NUMBER	BEARING	DISTANCE
L20	N 82°57'24" E	4.50'
L21	N 79°21'24" W	55.00'
L22	N 79°21'24" W	107.50'
L23	N 49°28'29" E	10.94'
L24	N 21°29'14" W	21.69'
L25	S 21°29'14" E	77.50'
L26	S 10°38'36" W	16.63'
L27	S 79°21'24" E	6.34'
L28	N 82°57'24" E	92.07'
L29	S 82°57'24" W	92.19'
L30	S 10°38'36" W	95.00'
L31	S 68°30'46" W	107.53'
L32	N 68°30'46" E	107.47'
L33	S 10°38'36" W	16.63'
L34	N 10°38'36" E	63.54'
L35	N 87°00'37" E	87.05'
L36	N 89°25'05" E	26.70'
L37	N 21°29'14" W	107.50'

STREET NAMES		
STREET	R.O.W. WIDTH	CENTERLINE LENGTH
ALDERPOINT PASS	70 FT.	853 FT.
BERRY GLEN LANE	55 FT.	654 FT.
CLAM BEACH DRIVE	55 FT.	766 FT.
IDLEWILD WAY	55 FT.	1,287 FT.
PANTETA PASS	55 FT.	598 FT.
POLLOCK PINES DRIVE	55 FT.	469 FT.
SEABRIGHT AVENUE	70 FT.	1,891 FT.
SNOW CREEK DRIVE	55 FT.	370 FT.
WOOD VALE ROAD	55 FT.	703 FT.
WILSHIRE WAY	55 FT.	1,786 FT.
TOTAL LINEAR FEET		9,377 FT.

CURVE TABLE					
NUMBER	ARC LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	19.63'	12.50'	90°00'00"	S 66°29'14" E	17.68'
C2	19.63'	12.50'	90°00'00"	S 23°30'46" W	17.68'
C3	19.63'	12.50'	90°00'00"	S 66°29'14" E	17.68'
C4	19.63'	12.50'	90°00'00"	S 23°30'46" W	17.68'
C5	175.89'	535.00'	18°50'15"	N 12°04'06" W	175.10'
C6	18.72'	12.50'	85°48'37"	S 45°33'18" E	17.02'
C7	18.72'	12.50'	85°48'37"	S 48°38'05" W	17.02'
C8	70.77'	465.00'	8°43'13"	S 02°21'55" W	70.70'
C9	18.72'	12.50'	85°48'34"	S 40°03'07" W	17.02'
C10	18.72'	12.50'	85°48'39"	S 54°08'16" E	17.02'
C11	87.55'	535.00'	9°22'33"	S 15°55'13" E	87.45'
C12	21.06'	12.50'	96°32'28"	S 27°39'44" W	18.66'
C13	383.84'	890.00'	24°42'38"	S 88°17'17" W	380.87'
C14	19.63'	12.50'	90°00'00"	N 34°21'24" W	17.68'
C15	19.63'	12.50'	90°00'00"	S 55	

METES & BOUNDS DESCRIPTION

FIELD NOTES FOR A 36.574 ACRE TRACT OF LAND OUT OF THE JOHN DYKES SURVEY, ABSTRACT NO. 186, WILLIAMSON COUNTY, TEXAS; BEING A PORTION OF A CALLED 263.021 ACRE TRACT OF LAND AS TO CONVEYED TO GRBK EDGEWOOD LLC AND MERITAGE HOMES OF TEXAS, LLC BY SPECIAL WARRANTY DEED AS RECORDED IN DOCUMENT NUMBER 2023089401 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; SAID 36.574 ACRE TRACT OF LAND CONSISTING OF TWO TRACTS AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS IN TWO PARTS AS FOLLOWS:

COMMENCING for POINT OF REFERENCE at a 1/2-inch iron rod found at a westerly corner of the above described 263.021-acre tract on the south line of the remainder of a called 27.36 acre tract of land, as conveyed to Howard R. Sladek and Brenda Sladek by warranty deed recorded in Volume 866, Page 661 of the Deed Records of Williamson County, Texas; Thence, with the southeast line of said 27.36-acre remainder tract, and a northwesterly line of said 263.021-acre tract, N 49°28'29" E a distance of 317.67 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a westerly exterior corner and POINT OF BEGINNING of the herein described tract;

THENCE, continuing with the southeasterly line of said 27.36-acre remainder tract, and a westerly line of said 263.021-acre tract, N 49°28'29" E a distance of 10.94 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a westerly interior corner of the herein described tract;

THENCE, with a westerly line of said 263.021-acre tract and partially with an easterly line of said 27.36-acre remainder tract and a called 14.00-acre tract of land as conveyed to Howard Ray Sladek by Document Number 2022081293 of the Official Public Records of Williamson County, as described in Contract of Sale and Purchase in Volume 867, Page 747 of the Deed Records of Williamson County, N 21°38'12" W a distance of 1,422.37 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set on the east line of said 14.00-acre tract and the west line of said 263.021-acre tract, for the most westerly north corner of the herein described tract, from which a 1-inch iron rod found at the northwest corner of the above described 263.021-acre tract and the northeast corner of a said 14.00-acre tract on the southeast line of the remainder of a called 163.89-acre tract of land as conveyed to Ricky D. Kruger, Brenda K. Sladek & Timothy R. Kruger by Executor's Deed recorded in Document Number 2016121073 of the Official Public Records of Williamson County, Texas, as described in deed to Richard H. Kruger & Frances M. Kruger recorded in Volume 491, Page 547 of the Official Records of Williamson County, Texas, bears N 21°38'12" W a distance of 645.26 feet;

THENCE, over and across said 263.021-acre tract, N 68°21'48" E a distance of 120.00 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a northerly interior corner of the herein described tract;

THENCE, continuing over and across said 263.021-acre tract, N 21°38'12" W a distance of 40.40 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a northerly exterior corner of the herein described tract;

THENCE, continuing over and across said 263.021-acre tract, N 68°21'48" E a distance of 55.00 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for an angle point;

THENCE, continuing over and across said 263.021-acre tract, N 68°30'46" E a distance of 661.95 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for the northeast corner of the herein described tract;

THENCE, continuing over and across said 263.021-acre tract, S 21°29'14" E a distance of 578.35 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set at a point of curvature of a curve to the left;

THENCE, continuing over and across said 263.021-acre tract, along said curve to the left, an arc distance of 19.63 feet, having a radius of 12.50 feet, a central angle of 90°00'00" and chord which bears S 66°29'14" E a distance of 17.68 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set at a point of tangency;

THENCE, continuing over and across said 263.021-acre tract, N 68°30'46" E a distance of 5.00 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for an easterly exterior corner of the herein described tract;

THENCE, continuing over and across said 263.021-acre tract, S 21°29'14" E a distance of 70.00 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for an easterly exterior corner of the herein described tract;

THENCE, continuing over and across said 263.021-acre tract, S 68°30'46" W a distance of 5.00 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for at a point of curvature of a curve to the left;

THENCE, continuing over and across said 263.021-acre tract, along said curve to the left, an arc distance of 19.63 feet, having a radius of 12.50 feet, a central angle of 90°00'00" and chord which bears S 23°30'46" W a distance of 17.68 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set at a point of tangency;

THENCE, continuing over and across said 263.021-acre tract, S 21°29'14" E a distance of 685.00 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for at a point of curvature of a curve to the left;

THENCE, continuing over and across said 263.021-acre tract, along said curve to the left, an arc distance of 19.63 feet, having a radius of 12.50 feet, a central angle of 90°00'00" and chord which bears S 66°29'14" E a distance of 17.68 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set at a point of tangency;

THENCE, continuing over and across said 263.021-acre tract, N 68°30'46" E a distance of 5.00 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for an easterly exterior corner of the herein described tract;

THENCE, continuing over and across said 263.021-acre tract, S 21°29'14" E a distance of 55.00 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for an easterly exterior corner of the herein described tract;

THENCE, continuing over and across said 263.021-acre tract, S 68°30'46" W a distance of 5.00 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a point of curvature of a curve to the left;

THENCE, continuing over and across said 263.021-acre tract, along said curve to the left, an arc distance of 19.63 feet, having a radius of 12.50 feet, a central angle of 90°00'00" and chord which bears S 23°30'46" W a distance of 17.68 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set at a point of tangency;

THENCE, continuing over and across said 263.021-acre tract, S 21°29'14" E a distance of 21.69 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a point of curvature of a curve to the right;

THENCE, continuing over and across said 263.021-acre tract, along said curve to the right, an arc distance of 175.89 feet, having a radius of 535.00 feet, a central angle of 18°50'15" and chord which bears N 12°04'06" W a distance of 175.10 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a point of reverse curvature;

THENCE, continuing over and across said 263.021-acre tract, along said curve to the left, an arc distance of 18.72 feet, having a radius of 12.50 feet, a central angle of 85°48'37" and chord which bears S 45°33'18" E a distance of 17.02 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set at a point of tangency;

THENCE, continuing over and across said 263.021-acre tract, S 88°27'36" E a distance of 4.58 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for an easterly exterior corner of the herein described tract;

THENCE, continuing over and across said 263.021-acre tract, S 01°32'24" W a distance of 55.00 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for an easterly exterior corner of the herein described tract;

THENCE, continuing over and across said 263.021-acre tract, S 88°27'36" E a distance of 4.58 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a point of curvature of a curve to the left;

THENCE, continuing over and across said 263.021-acre tract, along said curve to the left, an arc distance of 18.72 feet, having a radius of 12.50 feet, a central angle of 85°48'37" and chord which bears S 48°38'05" E a distance of 17.02 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set at a point of tangency;

THENCE, continuing over and across said 263.021-acre tract, S 06°43'31" W a distance of 108.30 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a point of curvature of a curve to the left;

THENCE, continuing over and across said 263.021-acre tract, along said curve to the left, an arc distance of 70.77 feet, having a radius of 465.00 feet, a central angle of 08°43'13" and chord which bears S 02°21'55" E a distance of 70.70 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a southeasterly exterior corner of the herein described tract;

THENCE, continuing over and across said 263.021-acre tract, S 88°00'19" W a distance of 70.00 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a southeasterly interior corner of the herein described tract;

THENCE, continuing over and across said 263.021-acre tract, S 02°25'26" E a distance of 8.01 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a point of curvature of a curve to the right;

THENCE, continuing over and across said 263.021-acre tract, along said curve to the right, an arc distance of 18.72 feet, having a radius of 12.50 feet, a central angle of 85°48'34" and chord which bears S 40°03'07" W a distance of 17.02 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a point of tangency;

THENCE, continuing over and across said 263.021-acre tract, S 82°57'24" W a distance of 4.50 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for an easterly interior corner of the herein described tract;

THENCE, continuing over and across said 263.021-acre tract, S 07°02'36" E a distance of 55.50 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for an easterly interior corner of the herein described tract;

THENCE, continuing over and across said 263.021-acre tract, N 82°57'24" E a distance of 4.50 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a point of curvature of a curve to the right;

THENCE, continuing over and across said 263.021-acre tract, along said curve to the right, an arc distance of 18.72 feet, having a radius of 12.50 feet, a central angle of 85°48'39" and chord which bears S 54°08'16" E a distance of 17.02 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a point of reverse curvature;

THENCE, continuing over and across said 263.021-acre tract, along said curve to the left, an arc distance of 87.55 feet, having a radius of 535.00 feet, a central angle of 09°22'33" and chord which bears S 15°55'13" E a distance of 87.45 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a point of reverse curvature;

THENCE, continuing over and across said 263.021-acre tract, along said curve to the right, an arc distance of 21.06 feet, having a radius of 12.50 feet, a central angle of 96°32'28" and chord which bears S 27°39'44" W a distance of 18.66 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a point of compound curvature;

THENCE, continuing over and across said 263.021-acre tract, along said curve to the right, an arc distance of 383.84 feet, having a radius of 890.00 feet, a central angle of 24°42'38" and chord which bears S 88°17'17" W a distance of 380.87 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a point of tangency;

THENCE, continuing over and across said 263.021-acre tract, N 79°21'24" W a distance of 240.33 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a point of curvature of a curve to the right;

THENCE, continuing over and across said 263.021-acre tract, along said curve to the right, an arc distance of 19.63 feet, having a radius of 12.50 feet, a central angle of 90°00'00" and chord which bears N 34°21'24" W a distance of 17.68 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a southerly interior corner of the herein described tract;

THENCE, continuing over and across said 263.021-acre tract, N 79°21'24" W a distance of 55.00 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a point of curvature of a curve to the right;

THENCE, continuing over and across said 263.021-acre tract, along said curve to the right, an arc distance of 19.63 feet, having a radius of 12.50 feet, a central angle of 90°00'00" and chord which bears N 55°38'36" W a distance of 17.68 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a point of tangency;

THENCE, continuing over and across said 263.021-acre tract, N 79°21'24" W a distance of 107.50 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for the southwest corner of the herein described tract;

THENCE, continuing over and across said 263.021-acre tract, N 10°38'36" E a distance of 246.84 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set on a westerly line of said 263.021-acre tract, and a southeasterly line of said 27.36-acre remainder tract to the POINT OF BEGINNING and containing 36.574 acres of land, more or less.

**FINAL PLAT
LIDELL WALKER
PHASE 5**

A SUBDIVISION OF 36.574 ACRES OF LAND
LOCATED IN THE
JOHN DYKES SURVEY, ABSTRACT NO. 186
WILLIAMSON COUNTY, TEXAS



BGE, Inc.
101 West Louis Henna Blvd., Suite 400
Austin, Texas 78728
Tel: 512-879-0400 • www.bgeinc.com
TBPELS Registration No. F-1046
TBPELS Licensed Surveying Firm No. 10106502

STATE OF TEXAS §
COUNTY OF TRAVIS §

KNOW ALL MEN BY THESE PRESENTS:

THAT GRBK EDGEWOOD LLC, A TEXAS LIMITED LIABILITY COMPANY, ACTING HEREIN BY AND THROUGH AUSTIN EVETTS, IT'S AUTHORIZED SIGNER AND MERITAGE HOMES OF TEXAS, LLC, AN ARIZONA LIMITED LIABILITY COMPANY ACTING HEREIN BY AND THROUGH BRANDON HAMMANN, IT'S VICE PRESIDENT OF LAND DEVELOPMENT, OWNERS OF A CALLED 263.021 ACRE TRACT OF LAND AS CONVEYED TO THEM BY SPECIAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 2023089401 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; DOES HEREBY SUBDIVIDE 36.574 ACRES OF LAND IN ACCORDANCE WITH THE PLAT SHOWN HEREON, TO BE KNOWN AS:

LIDELL WALKER PHASE 5

AND DOES HEREBY DEDICATE TO THE PUBLIC THE USE OF THE STREETS AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY EASEMENTS AND/OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND, THIS THE ____ DAY OF _____, 20____, A.D.

AUSTIN EVETTS, AUTHORIZED SIGNER
GRBK EDGEWOOD LLC
5501 HEADQUARTERS DRIVE, SUITE 300W
PLANO, TEXAS 75024

STATE OF TEXAS §
COUNTY OF TRAVIS §

BEFORE ME, THE UNDERSIGNED AUTHORITY, PERSONALLY APPEARED AUSTIN EVETTS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

NOTARY PUBLIC, STATE OF TEXAS

PRINT NOTARY'S NAME

MY COMMISSION EXPIRES _____

WITNESS MY HAND, THIS THE ____ DAY OF _____, 20____, A.D.

BRANDON HAMMANN, VICE PRESIDENT OF LAND DEVELOPMENT
MERITAGE HOMES OF TEXAS, LLC
12301 RESEARCH BLVD.
BUILDING 4, SUITE 400
AUSTIN, TEXAS 78759

On-site stormwater detention facilities, or other alternatives approved by the City Engineer, will be provided to reduce post-development peak discharge rates for the 2-, 10-, 25-, and 100-year storm events in accordance with § 24.10.002 of the Stormwater Management Ordinance.

STATE OF TEXAS §
COUNTY OF TRAVIS §

BEFORE ME, THE UNDERSIGNED AUTHORITY, PERSONALLY APPEARED BRANDON HAMMANN, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

NOTARY PUBLIC, STATE OF TEXAS

PRINT NOTARY'S NAME

MY COMMISSION EXPIRES _____

I, TIMOTHY M. HOLLAND, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS, TO PRACTICE THE PROFESSION OF ENGINEERING, AND DO HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

TIMOTHY M. HOLLAND, P.E.
LICENSED PROFESSIONAL ENGINEER NO. 94848
GRAY ENGINEERING, INC.
8834 N CAPITAL OF TEXAS HWY #140
AUSTIN, TX 78759

DATE

I, JONATHAN O. NOBLES, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS, TO PRACTICE THE PROFESSION OF LAND SURVEYING, AND DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND WAS PREPARED FROM AN ACTUAL ON THE GROUND SURVEY OF THE PROPERTY UNDER MY SUPERVISION ON APRIL 21, 2021.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

JONATHAN O. NOBLES, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5777
BGE, INC.
101 WEST LOUIS HENNA BLVD., SUITE 400
AUSTIN, TEXAS 78728

DATE

GENERAL NOTES:

1. BEARING ORIENTATION IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE 4203, NAD83.
2. NO BUILDING, FENCING, LANDSCAPING OR STRUCTURES ARE ALLOWED WITHIN ANY DRAINAGE OR WASTEWATER EASEMENT UNLESS EXPRESSLY PERMITTED BY THE CITY OF HUTTO.
3. BUILDING SETBACKS SHALL CONFORM TO UDC REQUIREMENTS, AS AMENDED.
4. A TEN (10) FOOT PUBLIC UTILITY EASEMENT (PUE) IS HEREBY DEDICATED ALONG AND ADJACENT TO ALL STREET SIDE PROPERTY LINES.
5. A THREE (3) FOOT PUBLIC UTILITY EASEMENT (PUE) IS HEREBY DEDICATED ON EACH SIDE OF ALL INTERIOR SIDE LOT LINES.
6. IF PARKING IS DESIRED ON BOTH SIDES OF THE STREET THEN THE STREETS MUST BE A MINIMUM OF 33 FEET WIDE. IF THE STREETS ARE LESS THAN 33 FEET IN WIDTH FIRE LANE SIGNAGE IS REQUIRED. (2018 IFC APPENDIX D SEC. 103.6 - D103.6.2)
7. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTION IS MADE TO PUBLIC WATER AND WASTEWATER UTILITIES.
8. SIDEWALKS AND TREES SHALL BE PROVIDED ON BOTH SIDES OF ALL STREETS WITHIN THIS SUBDIVISION.
9. SIDEWALKS AND TREES SHALL BE PROVIDED ALONG ALL STREETS BOUNDING THIS SUBDIVISION.
10. ALL FENCING THAT IS NOT ON A PRIVATE LOT TO BE MAINTAINED BY THE HOA.
11. STREET LIGHTING SHALL BE PROVIDED BY THE DEVELOPER IN CONFORMANCE WITH THE UDC REQUIREMENTS, AS AMENDED.
12. THIS TRACT IS WITHIN WATER CCN SERVICE AREA 10970. WATER AND WASTEWATER WILL BE AVAILABLE THROUGH THE CITY OF HUTTO AFTER THE APPROPRIATE WATER AND WASTEWATER SYSTEMS ARE INSTALLED TO THIS SITE. THE CITY OF HUTTO ASSUMES NO OBLIGATIONS FOR INSTALLING ANY WATER AND WASTEWATER IMPROVEMENTS REQUIRED TO SERVE THIS SITE.
13. NO PORTION OF THIS TRACT IS ENCRONCHED BY THE ULTIMATE 1% ANNUAL CHANCE FLOODPLAIN.
14. NO PORTION OF THIS TRACT IS ENCRONCHED BY ANY SPECIAL FLOOD HAZARD AREAS INUNDATED BY THE 1% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED BY THE U.S. FEDERAL EMERGENCY MANAGEMENT AGENCY BOUNDARY MAP (FLOOD INSURANCE RATE MAP) COMMUNITY PANEL NUMBER 48491C0510F, EFFECTIVE DATE DECEMBER 20, 2019, FOR WILLIAMSON COUNTY, TEXAS.
15. IN ORDER TO PROMOTE DRAINAGE AWAY FROM A STRUCTURE, THE SLAB ELEVATIONS SHALL BE BUILT AT LEAST ONE (1) FOOT ABOVE THE SURROUNDING GROUND AND SHOULD BE GRADED AWAY FROM THE STRUCTURE AT A SLOPE OF 1/2" PER FOOT FOR A DISTANCE OF AT LEAST TEN (10) FEET.
16. ALL SUBDIVISION CONSTRUCTION SHALL CONFORM TO THE CITY OF HUTTO UNIFIED DEVELOPMENT CODE AS AMENDED, CONSTRUCTION STANDARDS, AND GENERALLY ACCEPTED ENGINEERING PRACTICES.
17. ON-SITE STORMWATER DETENTION FACILITIES WILL BE PROVIDED TO REDUCE POST-DEVELOPMENT PEAK RATES OF DISCHARGE OF THE 2, 10, 25 AND 100-YEAR STORM EVENTS, IF NECESSARY.
18. ALL EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER ASSIGNS.
19. ALL DRAINAGE LOTS SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
20. THIS SUBDIVISION IS ZONED SF-1 VILLAGE.
21. ALL LOTS IN THIS SUBDIVISION ARE RESTRICTED TO SINGLE FAMILY RESIDENTIAL USE, UNLESS OTHERWISE INDICATED.
22. THE MAXIMUM IMPERVIOUS COVERAGE PER RESIDENTIAL LOT IS 57%.
23. SUBDIVISION WALLS SHALL BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH CHAPTER 4 OF THE UDC, AS AMENDED.
24. STREETS 26 FEET WIDE TO LESS THAN 32 FEET WIDE REQUIRE FIRE LANE STRIPING ON ONE SIDE OF THE STREET.
25. TRAFFIC IMPACT FEES WILL BE DUE BASED ON RESOLUTION R-2021-147A.

The total PUE consists of 10 feet for wet utilities and 5 feet for dry utilities. Was there an agreement to remove the 5-foot dry utility PUE, or what is the reason for its removal?

Please review the attached engineering comments regarding the drainage and 100-year floodplain requirements. Revise the notes to clearly state that portions of the tracts are impacted by the 100-year floodplain based on Atlas-14 rainfall data, if this plat is impacted.

If any lot is adjacent to the ultimate 1% annual chance floodplain, the final plat shall establish minimum finished floor elevations (MFFE) for all such lots at two feet above the ultimate 1% annual chance floodplain elevation.

Is City of Hutto providing Water services? Revise

A regional stormwater management fee will be assessed in accordance with § 24.10.002 of the Stormwater Management Ordinance.

CITY DEVELOPMENT SERVICES SIGNATURES:

THIS SUBDIVISION IS LOCATED WITHIN THE CITY LIMITS OF HUTTO, THIS THE ____ DAY OF _____, 20____

ASHLEY BAILEY, DEVELOPMENT SERVICES DIRECTOR

DATE

These two needs updating.

Howard Koontz

THIS PLAT WAS APPROVED FOR RECORDING BY THE HUTTO PLANNING AND ZONING COMMISSION ON THE ON ____ THE ____ DAY OF _____, 20____

BRYAN LEE, CHAIR

DATE

Planning and Zoning Commission

STATE OF TEXAS §
COUNTY OF WILLIAMSON §
KNOW ALL MEN BY THESE PRESENTS:

THAT I, NANCY E. RISTER, CLERK OF THE COUNTY COURT OF SAID COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IN WRITING, WITH ITS CERTIFICATION OF AUTHENTICATION, WAS FILED FOR RECORD IN MY OFFICE ON THE ____ DAY OF _____, 20____ A.D., AT ____ O'CLOCK ____ M. AND DULY RECORDED ON THE ____ DAY OF _____, 20____ A.D., AT ____ O'CLOCK ____ M. IN THE PLAT RECORDS OF SAID COUNTY, IN DOCUMENT NO. _____.

WITNESS MY HAND AND SEAL OF THE COUNTY COURT OF SAID COUNTY, AT MY OFFICE IN GEORGETOWN, TEXAS, THE DATE LAST ABOVE WRITTEN.

NANCY E. RISTER, CLERK, COUNTY COURT
WILLIAMSON COUNTY, TEXAS

BY: _____
DEPUTY



BGE, Inc.
101 West Louis Henna Blvd., Suite 400
Austin, Texas 78728
Tel: 512-879-0400 • www.bgeinc.com
TBPELS Registration No. F-1046
TBPELS Licensed Surveying Firm No. 10106502

FINAL PLAT
**LIDELL WALKER
PHASE 5**

A SUBDIVISION OF 36.574 ACRES OF LAND
LOCATED IN THE
JOHN DYKES SURVEY, ABSTRACT NO. 186
WILLIAMSON COUNTY, TEXAS

The project consists of multiple phases; therefore, each submittal shall include a master plan exhibit that depicts all phases and clearly identifies the specific phase associated with the current submission.

Drainage Report Deficiencies

The drainage report for this project was approved long before any of the current staff members were with the City. The engineer has continued submitting the same drainage report for all subsequent phase submittals, indicating that the drainage approval was obtained prior to implementation of the current process requiring drainage reports to be submitted through the designated portal. With the requested revisions, please submit the drainage report (DRN) through the designated portal.

There are deficiencies in the approved drainage report that must now be addressed following the City's adoption of Atlas 14 rainfall criteria and revised floodplain information.

The drainage report states that no portion of the tract is encroached by the 100-year floodplain based on the FEMA FIRM map. While this may have been accurate under the FEMA mapping, the FEMA maps are not based on Atlas 14 rainfall data. Following the City's adoption of Atlas 14 rainfall criteria, a portion of the Lidell Walker project site appears to be encroached by the updated 100-year floodplain, as shown in the recent Williamson County floodplain mapping (attached below). The City has implemented Atlas 14-based floodplain requirements for all new development projects. Therefore, the drainage report and corresponding plat must be updated to reflect the Atlas 14 rainfall-induced base flood elevations and revised floodplain limits.

Although the project proposes a significant increase in impervious cover and runoff within the project limits, no detention is proposed. The engineer's analysis concludes that the peak flow is reduced due to timing effects associated with off-site runoff contributions. While the City has accepted similar approaches on prior projects, the engineer must provide supporting calculations demonstrating that there are no adverse impacts to upstream or downstream properties. Reduction in peak flow alone is not sufficient; the analysis must also demonstrate that there is no rise in the base flood elevation (100 -year calculated flood elevation based on Atlas 14)

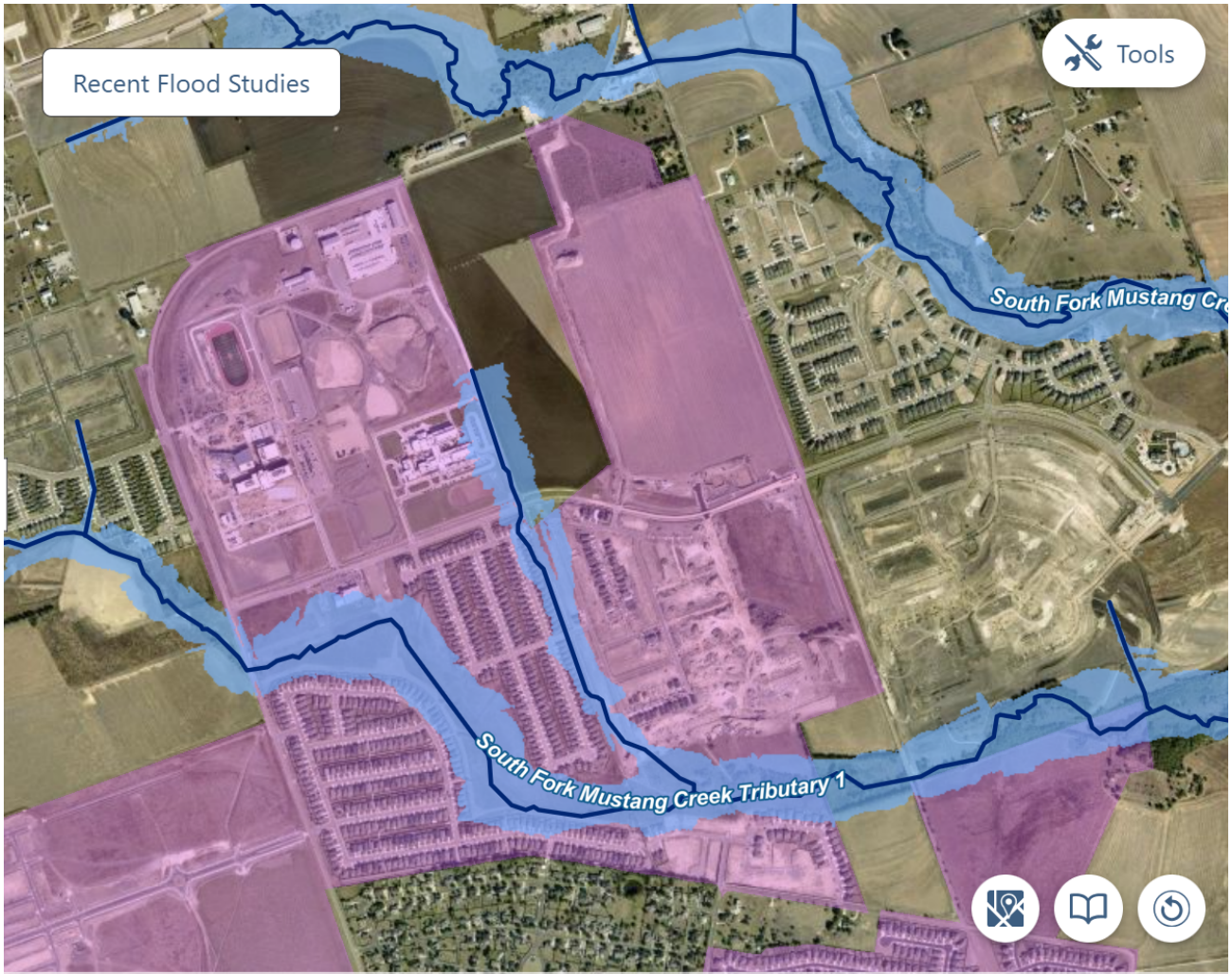
Please provide a HEC-RAS analysis for the creek reach that appears to encroach into the tract under the updated Atlas 14 flood elevations. This analysis is currently missing from the approved drainage report.

Stormwater Management Fee

The project is also subject to the regional stormwater management fee in lieu of on-site detention requirements in accordance with City of Hutto Code § 24.10.002. The code requires developments increasing impervious cover to either provide on-site detention, provide approved off-site detention, or submit sealed engineering analysis justifying an alternative approach.

Participation in the regional stormwater management program may be allowed if the proposed development does not result in identifiable adverse flooding impacts to adjacent properties and is supported by a comprehensive engineering report and calculations. This regional stormwater management fee has been applied to several similar projects within the City.


For single-family residential projects, the regional stormwater management fee is currently calculated at \$800 per gross acre. The gross acreage is based on the total acreage of the overall project site as determined from the recorded plats.



Stormwater Management Fee		
Single Family (gross acre)	\$800.00	



Last Updated: 9/18/2025

	<h1>Fee Schedule</h1>
-------------------------------------------------------------------------------------	-----------------------

Multi-family (gross acre)	\$1,600.00	
Commercial/Industrial (gross acre)	\$2,400.00	
Water LUE Reservation (per LUE/per year)	\$70.00	
Wastewater LUE Reservation (per LUE per year)	\$70.00	
Parkland Fee-in-Lieu		
Residential (per dwelling unit)	\$2,300.00	
Non-residential	\$975.00 for first 3 acres and \$975.00 per acre above 3 acres	

AGENDA ITEM REPORT

5.2.



To: Planning and Zoning Commission
Subject: Consideration and possible action on the Meadow Brook Phase 1 final plat, 47.7-acres, more or less, of land, 127 single-family residential lots, 20 duplex lots, and approximately 15-acres of passive parks, and 4.6-acres of active park space generally located north of FM 1660 and west of the Williamson County Southeast Loop.
Meeting: Tuesday, June 2, 2026
Department: Development Services
Staff Contact: Manny Hernandez

BACKGROUND INFORMATION:

Meadow Brook Subdivision Phase 1 consists of approximately 47.7 acres of undeveloped land located within the City of Hutto city limits. The property is governed by an approved Planned Unit Development (PUD) under Ordinance O-2024-051 and includes a Public Improvement District (PID) authorized by City Council through Resolution R-2024-200 in September 2024.

The site is generally flat with slopes between 0.5% and 1%, with steeper grades around Cottonwood Creek where slopes range from 5% to vertical. The property is primarily cultivated farmland with lightly wooded grassland, and it lies entirely within the Brushy Creek watershed. The tract is bordered by FM 1660 to the south, undeveloped land to the east and west, and the remainder of the Meadow Brook project to the north.

Phase 1 proposes 127 single-family lots, including 20 duplex lots, approximately 15 acres of passive parks, and 4.6 acres of active park space. The development also includes approximately 9 acres of public right-of-way with 70-foot and 54-foot street sections. Primary access will be provided from FM 1660, with a secondary connection to a future Hutto arterial associated with Williamson County's Southeast Loop Improvements project. An all-weather access connection between Cadwell Drive in Phase 1 and Cadwell Drive in Cottonwood Creek Phase 7 will be provided during construction to ensure adequate emergency and interim access. Approximately 2.5 acres of right-of-way will be dedicated for the SE Loop project as part of this plat.

Surrounding Uses

WEST: Extraterritorial Jurisdiction (ETJ) per Development Agreement

NORTH: Planned Unit Development (PUD)

EAST: Extraterritorial Jurisdiction (ETJ) per Development Agreement

SOUTH: Extraterritorial Jurisdiction (ETJ) per Development Agreement

SUMMARY OF REQUEST:

The applicant is requesting approval of the Meadow Brook Subdivision Phase 1 Final Plat, which includes 127 single-family residential lots, parkland, public right-of-way, and right-of-way dedication for the Southeast Loop

AGENDA ITEM REPORT

5.2.



Improvements project. The plat complies with the approved PUD, PID, and the development standards established in the Development Agreement.

STAFF REVIEW:

Staff has completed its review of the proposed Final Plat. All comments from the initial review cycle have been addressed, including those from the Parks Department, which have been resolved in accordance with the terms of the approved Development Agreement. The Final Plat meets all applicable requirements of the City of Hutto UDC and the adopted PUD standards.

The plat is ready for consideration and approval.

FISCAL NOTES:

There are no fiscal impacts associated with this item. All public improvements are being funded through the approved PID and will follow the terms established in the Development Agreement.

POLICY IMPLICATIONS:

There are no policy implications associated with this request. Final plat approval is a ministerial action governed by the City of Hutto UDC, applicable state law, and the standards adopted in the PUD and Development Agreement.

ATTACHMENTS:

1. Meadow Brook Development Agreement Agreement 20240913
2. MbPrelim-U3-StaffComments(7-2-25)

RESOLUTION NO. R-2024-200

**A RESOLUTION OF THE CITY OF HUTTO, TEXAS,
APPROVING A DEVELOPMENT AGREEMENT BETWEEN
AND MB HUTTO, LLC AND THE CITY OF HUTTO;
AUTHORIZING THE CITY MANAGER TO EXECUTE THE
AGREEMENT; PROVIDING PROPER NOTICE &
MEETING, AND PROVIDING AN EFFECTIVE DATE.**

WHEREAS, the City Council desires to enter into a development agreement between MB Hutto, LLC and the City of Hutto and authorize the City Manager to execute the Meadowbrook Public Improvement District Development Agreement, (“Agreement”), attached as Exhibit A.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HUTTO, TEXAS, THAT:

Section 1: The findings set forth in the recitals of this Resolution are hereby found to be true and correct and are incorporated into the body of this Resolution, as set forth herein.

Section 2: The Hutto City Council approves and authorizes the City Manager to execute the Agreement, attached as Exhibit A, a copy of same, attached hereto and incorporated herein for all purposes.

Section 3: The City Council hereby finds and declares that written notice of the date, hour, place and subject of the meeting at which this Resolution was adopted was posted and that such meeting was open to the public as required by law at all times during which this Resolution and the subject matter hereof were discussed, considered and formally acted upon, all as required by the Open Meetings Act, Chapter 551, Texas Government Code, as amended.

Section 4. This Resolution shall take effect immediately upon its passage.

THE CITY OF HUTTO, TEXAS



Mike Snyder, Mayor

ATTEST:



Laura Hallmark, City Secretary



**DEVELOPMENT AGREEMENT
MEADOWBROOK PUBLIC IMPROVEMENT DISTRICT**

The City of Hutto, Texas, a home-rule municipal corporation (“City”) and MB Hutto, LLC, a Delaware limited liability company (“Developer”), each a “Party” and collectively the “Parties”, enter into this Development Agreement (this “Agreement”) on September 5, 2024 (the “Effective Date”) for the purpose of developing a residential community and all related improvements (the “Project”) in accordance with Chapter 372 of the Texas Local Government Code and applicable City code provisions, ordinances, building codes, construction standards, and any other regulation properly adopted by the City, as may be amended.

RECITALS

WHEREAS, Developer is the developer of that certain tract of land containing approximately 87 acres currently in the extraterritorial jurisdiction of the City (the “Property”) as described and shown on **Exhibit A** attached hereto;

WHEREAS, Developer intends to develop the Property into a high-quality residential community as conceptually shown on **Exhibit C**, that will serve present and future residents of the City;

WHEREAS, the Developer and the City are constructing water/wastewater facilities to serve the Property and the Developer is upsizing certain water and wastewater facilities that benefits the City and adjacent development;

WHEREAS, the development of the Property will further the public interest and welfare, and that the benefits that may accrue to the City are consistent with the City’s economic development objectives to provide new residential housing products into the Hutto marketplace;

WHEREAS, the City may use its discretion to create a Public Improvement District (“PID”) to provide utility, roadway, drainage, parks and related infrastructure in accordance with Chapter 372 of the Texas Local Government Code, the City’s PID Policy and all other applicable laws;

WHEREAS, Developer submitted to the City a petition for the creation of a PID on October 27, 2021, and an amended petition on October 23, 2023 (collectively, the “Petition”);

WHEREAS, the City opened the public hearing to create the PID on February 1, 2024, and closed the public hearing on March 7, 2024; and

WHEREAS, the Developer has petitioned the City for the annexation of the Property into the City limits and has further requested the Property be zoned as a planned unit development upon annexation.

NOW, THEREFORE, in consideration of the mutual covenants and agreements contained herein and for other good and valuable consideration, the receipt and sufficiency of

which are hereby acknowledged, the Parties hereby agree as follows:

I. RECITALS

The aforementioned recitals noted in this Agreement are deemed part of this Agreement and are incorporated into the terms and conditions of this Agreement.

II. DEFINITIONS

“Additional Costs” has the meaning given in Section 8.01(a) of this Agreement.

“Administrator” means an employee of the City and/or third-party designee of the City who shall have the responsibilities provided for herein, in an indenture relating to the PID Bonds or in any other agreement approved by the City Council.

“Agreement” has the meaning given in the introductory paragraph to this Agreement.

“Applicable Entity” has the meaning given in Section 9.01(e) of this Agreement.

“Applicable Law” means the Code of Ordinances, the City Charter of the City, and other local, state, and federal laws, regulations and policies that apply to the Property and the development thereof, as they exist on the Effective Date.

“Assessment(s)” means a special fee levied by the City in accordance with the Public Improvement District Assessment Act, Title 12, Chapter 372 of the Texas Local Government Code, as amended, and the correlating assessment ordinance adopted by the City.

“Assessment Ordinance” means the regulation adopted by the City Council to levy the Assessment(s) on the Project in accordance with the Public Improvement District Assessment Act, Title 12, Chapter 372 of the Texas Local Government Code, as amended.

“Authorized Improvements” means the applicable authorized improvements under §372.003 of the Texas Local Government Code necessary to serve and fully develop the Project, as will be further described in the Financing Agreement and the Service and Assessment Plan.

“City” shall mean the City of Hutto, Texas.

“City Council” means the City Council of the City.

“City Engineer” means the civil engineer or firm of civil engineers selected by the City to perform the duties set forth herein.

“City Manager” means the appointed official or his/her designated agent charged with directing the administration of the City of Hutto.

“City Obligations” has the meaning given in Section 8.01(a) of this Agreement.

“City Utility Projects” has the meaning given in Section 9.01(c).

“City Wastewater Projects” has the meaning given in Section 9.01(c).

“City Water Projects” has the meaning given in Section 9.01(b).

“Code of Ordinances” means the Hutto Code of Ordinances including the Unified Development Code, as adopted by City Council, governing activity within and the operations of the City of Hutto, as may be amended.

“Community Benefits” means the measures voluntarily incorporated into the development of the Project that confer a special benefit on the community as presented in **Exhibit D**.

“Community Benefit Fee” has the meaning given in Section 9.02(d) of this Agreement.

“Concept Plan” means the generalized plan showing boundaries of a parcel under common ownership and identifying, among other things, the proposed land use, general parcel layout, community use or public areas, land use intensity, and street alignments as set forth in **Exhibit C**.

“Developer Conversion Notice” has the meaning given in Section 9.01(d) of this Agreement.

“Effective Date” has the meaning given in the introductory paragraph to this Agreement.

“Emergency Gates” has the meaning given in Section 9.01(e) of this Agreement.

“Estimated Costs” has the meaning given in Section 8.01(b) of this Agreement.

“Financing Agreement” an agreement between the Developer and the City outlining the terms according to which the City will reimburse the Developer for the actual costs of the Authorized Improvements.

“Hammerhead Turnarounds” has the meaning given in Section 9.01(e) of this Agreement.

“Homeowner’s Association” or “HOA” means the organization required to be formed under this Agreement for the purposes of making and enforcing certain rules for individual properties within the Project.

“Hutto Arterial” has the meaning given in Section 9.01(e) of this Agreement.

“Impact Fees” means any charge or assessment imposed by the City, as may be amended and as authorized under Chapter 395 of the Texas Local Government Code, including amortized charges, lump-sum charges, capital recovery fees, contributions in aid of construction, and any other fee that functions in accordance with the law.

“Improvement Costs” means the actual costs of acquisition, design, engineering, construction, inspection, and any other necessary costs related to the satisfactory completion of the Authorized

Improvements, as will be further described in the Financing Agreement and the Service Assessment Plan.

“Landowner(s)” means any legal owner(s) of any parcel(s) located within the Public Improvement District.

“Living Unit Equivalent(s)” or “LUE(s)” means a unit of measurement representing the quantity of water consumed and wastewater generated on an average daily basis from a single-family detached residence of average size and occupancy as may be more particularly defined in the City of Hutto’s Utility Design Criteria Manual.

“Non-QTEO” has the meaning given in Section 8.01(b) of this Agreement.

“Parcel(s)” means a portion of land located within the Public Improvement District and identified either by (1) a tax map identification number as assigned by the Williamson County Appraisal District or (2) by lot and block number in a final subdivision plat recorded in the real property records of Williamson County.

“Party” or “Parties” has the meaning given in the introductory paragraph to this Agreement.

“Petition” has the meaning given in the recitals to this Agreement.

“Project” has the meaning given in the introductory paragraph to this Agreement.

“Property” means the Developer-owned real property located in Williamson County, Texas, upon which the Project shall be built, as more specifically described in **Exhibit A**.

“Public Improvement District” or “PID” means the defined geographical area, as further described in **Exhibits A**, established to provide specific types of improvements or maintenance within the area in accordance with Chapter 372 of the Texas Local Government Code.

“Public Improvement District Bonds” or “PID Bonds” means the special assessment revenue bonds issued by the City, pursuant to Chapter 372 of the Texas Local Government Code, for the payment of Authorized Improvements and other related expenses within the Public Improvement District.

“PUD” means the Planned Unit Development for the Property approved by the City Council pursuant to Ordinance No 2024-051.

“QTEO” has the meaning given in Section 8.01(a) of this Agreement.

“Reimbursement Agreement” means the agreement between the Parties outlining the terms and conditions through which the City shall reimburse Developer for a portion of Improvement Costs out of Public Improvement District bonds or Assessments.

“Reserved ROW” has the meaning given in Section 9.01(e)(ii) of this Agreement.

“Right-of-Way Deposit Agreement” means the agreement entered into by and between the City and Developer to fund the City’s use of eminent domain, on a form provided by the City and agreed to by the Developer.

“Service and Assessment Plan” or “SAP” means the document adopted by the City Council, as amended, pursuant to §372.013 and §372.014 of the Texas Local Government Code and hereby incorporated by reference.

“State” shall mean the State of Texas.

“Third Party Claims” or “TPC” has the meaning given in Section 13.23 of this Agreement.

“TxDOT” means the Texas Department of Transportation.

“Unified Development Code” or “UDC” means the City of Hutto’s comprehensive code document containing all development-related regulations including, but not limited to, zoning and land use, site and design standards, and historic preservation standards, in effect on the date hereof.

“Wastewater Facilities” has the meaning given in Section 9.01(c) of this Agreement.

“Water Facilities” has the meaning given in Section 9.01(b) of this Agreement.

III. PROJECT SCOPE AND TERM

3.01 SCOPE OF PROJECT

The Developer shall perform, or cause to be performed, the design, development, construction, maintenance, management, use and operation of the Project, including the Authorized Improvements, in accordance with Applicable Law.

3.02 TERM

This Agreement shall be effective as of the Effective Date and continue through Developer’s completion of the Project. This Agreement shall expire, unless otherwise mutually agreed upon by the Parties, upon the repayment or discharge of the PID Bonds or thirty-five (35) years after the date the City has issued the last certificate of occupancy, whichever occurs earlier.

IV. ANNEXATION AND ZONING

4.01 ANNEXATION

The Property shall be annexed into the City’s corporate limits as permitted by Section 212.172(b)(7) of the Texas Local Government Code concurrently with the creation of the Public Improvement District described herein.

4.02 ZONING AND LAND USE

Contemporaneously with the annexation of the Property, the Property shall be zoned, as of the Effective Date of this Agreement, PUD as provided for in the Unified Development Code.

V. CHAPTER 245; PRIOR AGREEMENTS**5.01 CHAPTER 245 PERMIT**

This Agreement is the first permit in a series of permits for the purpose of rights accruing as provided for in Chapter 245 of the Texas Local Government Code and authorized by Section 212.172(g) of the Texas Local Government Code.

5.02 PRIOR AGREEMENTS

This Agreement shall supersede and replace, in all respects, prior Chapter 43 Texas Local Government Code agreements relating to the Property or any portion thereof, if any. Upon full execution of this Agreement, such prior agreements will automatically terminate and be of no further force and effect. Upon Developer's request, the City shall deliver a release of any prior agreements to Developer for recording in the Official Public Records of Williamson County, Texas.

VI. PUBLIC IMPROVEMENT DISTRICT**6.01 CREATION**

The Petition to establish the PID has been submitted, in accordance with Chapter 372 of the Texas Local Government Code, to the City for consideration. If the Petition is approved by the City Council and if the City Council creates a PID and approves a Financing Agreement, the following documents may be included:

- (a) Necessary documents and ordinances required under Chapter 372 of the Texas Local Government Code to create the PID and levy correlating Assessments, including the Service and Assessment Plan.
- (b) A Service and Assessment Plan, acceptable to the City for City Council review. If approved, the City Council may consider an Assessment Ordinance.
- (c) Upon the completion of the requisite acceptance and approval in accordance with (a) and (b), above, the Developer shall develop the Project in accordance with the terms of this Agreement, the approved PID, the Financing Agreement, and all applicable laws, rules, and regulations.

6.02 ASSESSMENTS

- (a) Assessment Levy. Following the preparation and approval of a preliminary Service Assessment Plan for the PID, subject to the City Council making findings that the Authorized Improvements confer a special benefit on the property within the PID,

the City Council may consider an Assessment Ordinance. The passage of an Assessment Ordinance shall accept the Service Assessment Plan and legally create and levy the Assessment(s) as detailed herein.

- (b) Landowner Acceptance. Concurrently with the processes presented in (a), the Landowner(s) shall approve and accept, in writing, the levy of the Assessment(s) as applicable.
- (c) Covenants Running with the Land. The City shall record, in the real property records of Williamson County, Texas, the necessary legal instruments establishing covenants running with the land binding any and all current and successor owners of parcels within the PID to pay the Assessment(s), including applicable interest and associated penalties, and ensuring compliance with Section 5.014 of the Texas Property Code.

6.03 REIMBURSEMENT

- (a) Reimbursement Agreement. For the purposes of Chapter 372 of the Texas Local Government Code, the Developer may be reimbursed for costs expended by the Developer to design and construct the Authorized Improvements that provide a special benefit to the Property, as and to the fullest extent authorized by Chapter 372 of the Texas Local Government Code, from the revenues generated by the levy of special assessments and issuance of PID bonds, if PID bonds are approved. Additional terms of such reimbursement may be outlined in a future agreement between the Parties. In no event shall the City be obligated to reimburse the costs of any Authorized Improvements from any other source of funds other than PID assessments, or PID bonds that are secured by such PID assessments. Any PID bonds issued by the City must comply with the City's PID Policy and any Applicable Law.

6.04 OTHER DISTRICTS

Except for the PID, Developer shall not establish any other infrastructure finding districts on the property, including without limitation, a Municipal Utility District or a Water Control and Improvement District.

VII. EASEMENTS AND BIDDING

7.01 CONSTRUCTION AND EASEMENTS

- (a) Construction Plans. Developer shall prepare, or cause the preparation of, plans and specifications for each of the Authorized Improvements for submittal to the City for review and approval in accordance with Applicable Law.
- (b) Construction Standards. The Authorized Improvements shall be constructed and inspected in accordance with all Applicable Law and/or other governing body or entity with jurisdiction over the Authorized Improvements.
- (c) Easements. Easements required to facilitate the completion, inspection, and maintenance of Authorized Improvements shall be governed by this subsection.
 - (i) If an Authorized Improvement is on land owned by the City, the City shall grant to the Developer a temporary easement for construction purposes on a form to be provided by the City and accepted by the Developer.

- (ii) If an Authorized Improvement is on land owned by the Developer, the Developer shall dedicate easements by plat or shall execute and deliver to the City, in recordable form, such access and maintenance easements as the City may reasonably require.
- (iii) Developer shall grant to the City a permanent access and maintenance easement, to be evidenced on the final plat for the Project, to enter upon the Project property for any purpose related to the inspection and maintenance of the Authorized Improvements dedicated to and accepted by the City. The granting of this easement shall not relieve Developer of any obligations to grant the City title to property and/or easements related to the Authorized Improvements as required by Applicable Law or, for the City's access to and routine and emergency maintenance of such Authorized Improvement.
- (iv) If the Developer is unable to obtain any necessary easements through commercially reasonable practices, the City may acquire any such necessary easements by utilizing the City's power of eminent domain, and, to the extent necessary to initiate and diligently pursue the condemnation of the easements in question. The developer shall enter into a Right of Way Deposit agreement to provide for the costs of the City's acquiring any required easement by eminent domain.

7.02 CONSTRUCTION CONTRACT AWARDS

- (a) Competitive Bidding Exemption. This Agreement and the construction of the Authorized Improvements are exempt from the competitive bidding requirements at § 252.022(a)(9) and §252.022(a)(11) of the Texas Local Government Code based upon current cost estimates.
- (b) Contract Award. All contracts awarded for the construction of the Authorized Improvements shall be the sole responsibility of the Developer. The Developer's engineers shall prepare, or cause the preparation of, all contract specifications and necessary related documents. The Developer, as the sole administrator of such contracts, shall do so in a manner consistent with Applicable Law.

VIII. PUBLIC IMPROVEMENT DISTRICT BONDS

8.01 QUALIFIED TAX-EXEMPT STATUS AND BOND MATURITY

- (a) Qualified Tax-Exempt Status. In any calendar year in which PID Bonds are issued, the Developer shall pay the City additional costs incurred solely from the difference in interest cost ("Additional Costs") the City may incur in the issuance of public securities by the City (the "City Obligations") as described in this Section if the City Obligations are deemed not to qualify for the designation of "qualified tax-exempt obligations" ("QTEO") as defined in section 265(b)(3) of the Internal Revenue Code of 1986, as amended, as a result of the issuance of PID Bonds by the City in any given year. The City agrees to deposit all funds for the payment of such Additional Costs received under this Section into a segregated account of the City, and such funds shall remain separate and apart from all other funds and accounts of the City until December 31 of the calendar year in which the PID Bonds are issued, at which time the City is authorized

to utilize such funds for any purpose permitted by law. Additionally, the City will provide the Developer on an annual basis, no later than December 15th each year, the projected amount of City Obligations to be issued in the upcoming year based on its annual budget process.

(b) Issuance of PID Bonds Prior to City Obligations.

(i) In the event the City issues PID Bonds prior to the issuance of City Obligations, the City, with assistance from its financial advisor, shall calculate the Additional Costs based on the market conditions as they exist approximately thirty (30) days prior to the date of the pricing of the PID Bonds (the “Estimated Costs”). The Estimated Costs are an estimate of the increased cost to the City to issue its City Obligations as nonqualified tax-exempt obligations (“non-QTEO”). Promptly following the determination of the Estimated Costs, the City shall provide a written invoice to Developer in an amount equal to the Estimated Costs. Developer, in turn, shall remunerate to the City the amount shown on said invoice on or before the earlier of: (i) fifteen (15) business days after the date of said invoice, or (ii) five (5) business days prior to pricing the PID Bonds. The City shall not be required to price or sell any series of PID Bonds until Developer has paid the invoice related to the PID Bonds then being issued.

(ii) Upon the City’s approval of the City Obligations, the financial advisor shall calculate the actual Additional Costs to the City of issuing its City Obligations as non-QTEO. The City will, within five (5) business days of the issuance of the City Obligations, provide written notice to Developer of the amount of the Additional Costs. In the event the Additional Costs are less than the Estimated Costs, the City will refund to Developer the difference between the Additional Costs and the Estimated Costs within fifteen (15) business days of the date of the City’s notice to Developer required under this paragraph. If the Additional Costs are more than the Estimated Costs, Developer will pay to the City the difference between the Additional Costs and the Estimated Costs within fifteen (15) business days of the date of the City’s notice required under this paragraph.

(c) Issuance of City Obligations Prior to PID Bonds.

(i) In the event the City issues City obligations prior to the issuance of PID Bonds, the City, with assistance from the financial advisor, shall calculate the Estimated Costs based on the market conditions as they exist approximately twenty (20) days prior to the date of the pricing of the City Obligations. Promptly following the determination of the Estimated Costs, the City shall provide a written invoice to Developer: (1) in an amount equal to the Estimated Costs, and (2) that includes the pricing date for such City Obligations. The Developer, in turn, shall remunerate to the City the amount shown on said invoice at least five (5) days prior to the pricing date indicated on the invoice. If Developer fails to pay the Estimated Costs as required under this paragraph, the City, at its option, may elect to designate the City Obligations as QTEO, and the City shall not be required to issue any PID Bonds in such calendar year.

(ii) Upon the City’s approval of the City Obligations, the financial advisor shall calculate the actual Additional Costs to the City of issuing non-QTEO City Obligations. The City will, within five (5) business days of the issuance of the City

- Obligations, provide written notice to Developer of the Additional Costs. In the event the Additional Costs are less than the Estimated Costs, the City will refund to Developer the difference between the Additional Costs and the Estimated Costs within fifteen (15) business days of the date of the City's notice to Developer. If the Additional Costs are more than the Estimated Costs, Developer will pay to the City the difference between the Additional Costs and the Estimated Costs within fifteen (15) business days of the date of the City's notice.
- (d) To the extent any developer(s) or property owner(s) (including Developer, as applicable) has (have) paid Additional Costs for any particular calendar year, any such Additional Costs paid subsequently by a developer or property owner (including Developer, as applicable) to the City applicable to the same calendar year shall be reimbursed by the City to the developer(s) or property owner(s) (including Developer, as applicable) as necessary so as to put all developers and property owners (including Developer, if applicable) so paying for the same calendar year in the proportion set forth in subsection (d), below, said reimbursement to be made by the City within fifteen (15) business days after its receipt of such subsequent payments of such Additional Costs.
- (e) The City shall charge Additional Costs attributable to any other developer or property owner on whose behalf the City has issued debt in the same manner as described in this section, and Developer shall only be liable for its portion of the Additional Costs under this provision, and if any Additional Costs in excess of Developer's portion has already been paid to the City under this provision, then such excess of Additional Costs shall be reimbursed to Developer. The portion owed by Developer shall be determined by dividing the total proceeds from any debt issued on behalf of Developer in such calendar year by the total proceeds from any debt issued by the City for the benefit of all developers (including Developer) in such calendar year.
- (f) Maximum Maturity. The maturity for PID Bonds shall be thirty (30) years from the date of delivery thereof.

IX. OBLIGATIONS, COVENANTS, AND FEES

9.01 OBLIGATIONS OF DEVELOPER

Developer obligations as they relate to this Agreement and the completion of the Project are as follows:

- (a) Homeowner's Association. Developer shall create a mandatory homeowner's association with jurisdiction over the residential portions of the Project. All HOA conditions, covenants, and restrictions shall be properly recorded in the real property records of Williamson County, Texas and shall ensure compliance with this Agreement. Additionally, the HOA shall comply with, at a minimum, the following requirements:
- (i) The HOA shall be formed in a manner that ensures its existence and validity for the foreseeable future;

- (ii) The HOA shall be structured in a manner that facilitates actual homeowner control of official HOA business and operations; and
 - (iii) The HOA shall remain solvent and assess and collect annual fees in an amount sufficient to operate and maintain open spaces, common areas, detention ponds, screening walls, detention areas, and other related improvements or appurtenances that are not maintained by the Developer or required to be dedicated and accepted by the City within the residential portion of the Property. Common residential areas and all other improvements not maintained by the City shall be maintained solely by the HOA or Developer.
 - (iv) The HOA shall create an architectural committee to enforce the design standards approved by the PUD ordinance.
- (b) Water Facilities. At the time of execution of this Agreement, and subject to the construction of the Water Facilities and the City Water Projects (each as defined below), water capacity will be sufficient to serve the Project with the number of LUE's described in Section 9.03(b), and the City will (1) notify the Developer of ninety percent (90%) completion of design plans on or before September 1, 2025; and (2) construct, in a timely manner, and in any event on or before June 1, 2026, at its own cost: (A) the "Frame Switch Pump Station Expansion" listed as "Project 3" on the SER as described on **Exhibit L**, (B) the "Frame Switch Discharge Water Lines" listed as "Project 1" in the SER, as described on **Exhibit L**, (C) the "County Road 132 South Water Line" listed as "Project 5" on the SER, as described on **Exhibit L**, and (D) the "Cottonwood Elevated Storage Tank" listed as "Project 7" on the SER, as described on **Exhibit L** (collectively, the "City Water Projects"). The Developer shall design, permit, construct and fund the extension of City water facilities to provide service to the Project, which consists of (i) a new 16" waterline along 1660 within the right of way of the Texas Department of Transportation ("TxDOT") and/or appropriate utility easement(s); and (ii) a 24" waterline running through the property and terminating near the Northeast corner of the property (collectively, the "Water Facilities"), each as are more particularly described on **Exhibit L**, attached hereto. All Water Facilities required to serve the Project shall be designed and built to the City's construction standards and in conformance with all Applicable Law related to the construction and extension of water utilities in effect at the time of submittal of construction plans and shall be subject to review and inspection by the City prior to acceptance by the City. The City will submit and facilitate any required applications to TxDOT for the design and/or construction of the Water Facilities, including, but not limited to, a utility installation request. Developer shall initially be responsible for the hard and soft costs, including design and permitting, of the Water Facilities; provided, however, the City shall reimburse the Developer the hard costs associated with the oversizing from 12" to a 16" main for the line described in (i) above, and from a 12" to a 24" main for the line described in (ii) above. The reimbursement will be calculated as follows: the Developer shall obtain bids for the waterlines necessary to serve the Project. Each bid shall contain a baseline bid to construct the Water Facilities and an additional alternate bid for the oversized 16" and 24" waterlines requested by the City. The cost difference between the baseline bid and the alternate bid for applicable waterline is the amount the City shall reimburse the Developer. The City

Engineer shall, using commercially reasonable judgement, determine if the oversizing cost was calculated as provided above. The City shall pay the cost of oversizing the Water Facilities as described in Section 9.03(d) below.

(c) Wastewater Facilities. At the time of execution of this Agreement, and subject to the construction of the Wastewater Facilities and the City Wastewater Projects (each defined below), wastewater capacity will be sufficient to serve the Project with the number of LUE's described in Section 9.03(c), and the City will (1) notify the Developer of ninety percent (90%) completion of design plans on or before October 1, 2025; and (2) construct, the Wastewater Facilities on or before June 1, 2026, at its own cost: (x) the South WWTP Influent Lift Station, described as Item 1(b) on **Exhibit H**, and (y) the 42" Glenwood Interceptor, described as Item 1(a) on **Exhibit H** (collectively, the "City Wastewater Projects") and collectively with the City Water Projects, the "City Utility Projects"). The Developer shall design, permit, and construct (i) approximately 1,950 linear feet of the 15" gravity sewer line, described as Item 2(a) on **Exhibit H**, (ii) approximately 550 linear feet of the 15" gravity sewer line, described as Item 2(b) on **Exhibit H**, and (iii) approximately 500 linear feet of the 8" gravity sewer line described as Item 3 on **Exhibit H** (collectively, the "Wastewater Facilities"). All Wastewater Facilities required to serve the Project shall be designed and built to the City's construction standards and in conformance with all Applicable Law related to the construction and extension of wastewater utilities in effect at the time of submittal of construction plans and shall be subject to review and inspection by the City prior to acceptance by the City. The City shall reimburse the Developer from the Developer's wastewater impact fees collected, hard costs, of oversizing from 12" to a 15" sewer line for the line described in (i) above, and from a 8" to a 15" sewer line for the line described in (ii) above. The reimbursement will be calculated as follows: the Developer shall obtain bids for the wastewater lines necessary to serve the Project. Each bid shall contain a baseline bid to construct the Wastewater Facilities, and an additional alternate bid for the oversized 15" wastewater lines requested by the City in (i) and (ii) above. The cost difference between the baseline bid and the alternate bid for the applicable sewer line is the amount of reimbursement to Developer. The City Engineer shall, using commercially reasonable judgement, determine if the oversizing cost was calculated as provided above. The City shall pay the cost of oversizing the Wastewater Facilities as described in Section 9.03(d) below.

(d) City Utility Projects.

(i) Not later than thirty (30) days before the City is required to provide evidence to the Developer of ninety percent (90%) completion of design plans of the City Water Projects pursuant to Section 9.01(b) above, the City shall make a determination, using good engineering practices, as to whether (a) construction of a particular City Water Project is not necessary in order for the City to serve the Project with the number of LUEs outlined in Section 9.03(b), or (b) a more cost effective alternative to a City Water Project is

available. Upon such determination, the City shall notify the Developer and describe the City Water Project(s) that no longer needs to be constructed by the City or describe the alternative improvement(s), as applicable. The Parties agree to enter into an amendment to this Agreement agreeing to the foregoing, which amendment shall be considered by the City administratively, if permitted by law.

- (ii) In the event that the City Wastewater Projects are not constructed in accordance with the timeframes discussed in Section 9.01(c) of this Agreement, the City may, at the Developer's cost, provide wastewater service to the Project through pump and haul.

(e) Right-of-Way Acquisition.

- (i) Prior to commencement of construction, Developer shall obtain at its cost and expense all necessary off-site easements for the Project. Developer will dedicate, without cost to the City, any easements for the public improvements located on property owned by the Developer. However, if the Developer is unable to acquire offsite easements for the Project, the Developer shall provide written notice to the City of Developer's reasonable efforts to diligently acquire the offsite easements for the Project. The City may assist the Developer in acquiring such easements through the City's power of eminent domain as necessary. The Developer shall enter into a Right-of-Way Deposit Agreement, in a form approved by the City, and deposit sufficient funds to reimburse the City for all of City's cost and expense obligations for easement acquisition, including appraisal fees, legal fees, court costs, land acquisition costs and any other expenses incurred by the City to acquire the easements for the Project.
- (ii) The Developer agrees to dedicate to Williamson County, as necessary, approximately 5.3 acres of right-of-way as depicted on **Exhibit K**, attached hereto and incorporated herein for all purposes (the "Reserved ROW"), to support the potential realignment of the adjacent arterial road (the "Hutto Arterial") depicted on **Exhibit K**. The Developer agrees that no permanent construction or residential lots will be platted within the Reserved ROW except as described below in Section 9.01(e)(iii).
- (iii) The Developer may construct two or more "Hammerhead Turnarounds" (herein so called) shown on **Exhibit K** within the Reserved ROW to serve as temporary emergency turnarounds until such time as the Hutto Arterial is constructed. If construction of the Hutto Arterial occurs after the Developer has completed construction of the Hammerhead Turnarounds these turnarounds will be converted to have direct access to the Property. If it is determined that direct access to the Hutto Arterial is deemed unsafe, or does not meet driveway spacing criteria, then an emergency gate, as

permitted by the Applicable Laws, through which access will be permitted only in an emergency (the “Emergency Gates”). If construction of the Hutto Arterial occurs before the Developer commences construction of the Project, the Developer agrees to permit the driveway access locations and install Emergency Gates, where driveway access is not permitted. The City of Hutto will not object to the use of Emergency Gates verses providing a fire department hammer head on the subject property.

9.02 DEVELOPER FEES

Developer shall pay the fees listed in this Section 9.02 and the City’s fee schedule adopted by the City Council, as may be amended.

- (a) Impact Fee(s). The Impact Fees shall be assessed at the Developer’s filing of a final plat and due upon building permit issuance.
- (b) Development Fee(s). Developer shall pay all applicable development fees including, but not limited to, fees associated with required inspections, permit applications, and capital recovery, and any amendments to the applicable fees.
- (c) Traffic Impact Fee(s). Developer shall pay, pursuant to the UDC and in accordance with the City’s published fee schedule, all applicable traffic or transportation impact fees. Traffic Impact Fees may be subject to credits correlating to the dedication of right of ways or improvements to off-site roadways as required by the UDC and this Agreement upon application for the credit by the Developer and approval by the City.
- (d) Community Benefit Fee. Pursuant to the City’s PID Policy, upon the City’s issuance of a series of PID Bonds, the Developer shall pay to the City a community benefit fee (“Community Benefit Fee”) equal to ten percent (10%) of the gross PID Bond proceeds for the applicable PID Bond, as provided herein. The Developer shall deliver the Community Benefit Fee to the City within three (3) business days after the funding of the applicable series of PID Bonds. The Community Benefit Fee shall be used at the discretion of the City.
- (e) Parks and Open Space. Upon the later of the City’s issuance of the last PID Bond or the City’s request, the Developer shall dedicate the parks and open space depicted on **Exhibit E** (the “Parks and Open Space”) to the City as public parkland, by final plat or by separate deed, as applicable. The Developer shall pay a fee-in-lieu of parkland dedication calculated at \$800.00 (EIGHT HUNDRED AND NO/100 DOLLARS) per single family lot platted on the Property at such time as the City accepts the Parks and Open Space (“Park Fee”). It is hereby acknowledged by the Parties that the Park Fee is a reduction agreed to by the City from the current fee-in-lieu required by the Applicable Law. The City agrees to the reduced fee in consideration of the Developer’s agreement to (i) construct a trail system on the Parks and Open Space, which is intended to connect into, and be constructed in accordance with, the City’s master trail system, (ii) dedicate the Parks and Open Space to the City, up on request, and (iii) include in the Parks and Open Space approximately five (5) acres of “active parks”, as depicted on **Exhibit E**. The Developer, or the HOA, shall at all times maintain the Parks and Open Space, including any improvements thereto.

- (f) Development Plan. The Engineering Report is attached hereto as **Exhibit J** and includes a construction schedule. The Engineering Report is preliminary and subject to change as development of the Project progresses.

9.03 COVENANTS OF CITY

The City hereby covenants, and agrees to the following:

- (a) Permits. The City will issue, in accordance with Applicable Laws, all permits necessary for the completion of the Project.
- (b) Water Capacity. Subject to completion of the Water Facilities in accordance with Section 9.01(b) of this Agreement, three hundred (300) LUEs shall be available for service to the Project. Additionally, subject to completion of the City Water Projects, the City shall serve an additional one hundred and seventy-nine (179) LUEs. For the avoidance of doubt, upon completion of the Water Facilities and the City Water Projects the City shall serve a total of four hundred and seventy-nine (479) of LUEs.
- (c) Wastewater Capacity. Subject to completion of the Wastewater Facilities and the City Wastewater Projects in accordance with Section 9.01(c) of this Agreement, four hundred and seventy-nine (479) shall be available for service to the Project.
- (d) Oversizing Reimbursement. The Developer will oversize certain Water Facilities, as described in Section 9.01(b), and certain Wastewater Facilities, as described in Section 9.01(c), and the City will reimburse the Developer for the oversizing costs attributable to the City in accordance with Sections 9.01(b) or 9.01(c), as applicable. The City will reimburse Developer for the oversizing costs first through the crediting of Impact Fees within the Project, second through a lump sum payment from any source of funds available to the City, subject to the approval of City Council and allowable under applicable law, and third, if the lump sum payment is not approved by City Council or allowable under applicable law, through the payment of a capital recovery fee credit.

X. REPRESENTATIONS AND WARRANTIES

10.01 DEVELOPER

Developer warrants and represents the following:

- (a) Developer is a duly organized Delaware limited liability company validly existing, and in good standing under the laws of the state of Texas with authority to perform its obligations in this Agreement;
- (b) Performance by the Developer pursuant to the provisions of this Agreement will not result in any breach of or constitute any default under, any agreement or other instrument to which Developer is a party or by which Develop may be bound; and

- (c) Developer has not received written notice and has no actual knowledge of any litigation pending or threatened that may adversely affect the Developer's ability to perform its obligations under this Agreement.

This Agreement constitutes a legal, valid, and binding obligation of the Developer enforceable in accordance with its terms.

10.02 CITY

The City warrants and represents the following:

- (a) The City is a municipal corporation with full right and authority to enter into this Agreement and perform the obligations in this Agreement; and
- (b) Performance under this Agreement will not result in any breach of or constitute any default under, any agreement or other instrument to which the City is a party or by which the City may be bound.

This Agreement constitutes a legal, valid, and binding obligation of the City enforceable in accordance with the terms of this Agreement.

XI. INSURANCE AND BONDS

11.01 INSURANCE

Developer and all contractors, subcontractors, engineers, and consultants shall, for the term of this agreement, carry and maintain insurance policies with a reputable insurer, in accordance with **Exhibit F**, while performing work on the construction of any Authorized Improvements seeking reimbursement by the Public Improvement District.

11.02 BONDS

- (a) Performance and Payment Bonds.

Developer shall obtain, or cause the obtainment of, performance and payment bonds, required under Chapter 2253 of the Texas Government Code, for any Authorized Improvements that will be dedicated to the City and that benefit the Project.

- (b) Maintenance Bonds. Developer shall provide, or cause the provision of, a two (2) year maintenance bond or bonds for completed Authorized Improvements.

XII. DEFAULTS, REMEDIES, AND TERMINATION

12.01 EVENTS OF DEFAULT

- (a) No Party shall be in default under this Agreement until notice reasonably detailing the nature of the alleged failure has been provided. A Party alleged to be in default under this Agreement shall have thirty (30) days to cure such alleged failure.
- (b) If a Party remains in default beyond the cure period, the aggrieved Party may seek relief available at law or in equity including, but not limited to, relief provided

With a required copy to: Metcalfe Wolff Stuart & Williams, LLP
 Attn: Steve Metcalfe
 221 W. 6th Street, Ste. 1300
 Austin, Texas 78701
 Phone: 512-404-2209
 Email: Smetcalfe@MWSWTexas.com

Any Party may designate a different address at any time upon written notice to the other Parties.

13.02 ASSIGNMENT

- (a) The Developer may assign this Agreement from time to time to an affiliate, or a regional or national homebuilder, and the City hereby consents to any such assignment.
- (b) If the Developer assigns this Agreement to a third party that is not an affiliate, or a regional or national homebuilder, then the Developer shall ensure that such assignee:
 - (i) does not owe delinquent taxes or fees to the City;
 - (ii) is not in material default (beyond any applicable notice and cure period) under any development or financing agreement with the City; and
 - (iii) has the experience, expertise, and the financial capacity and ability to perform the duties or obligations so assigned under this Agreement.
- (c) The Developer shall provide the City thirty (30) days prior written notice of any assignment pursuant to this Section.
- (d) If the City has objections to an assignment of this Agreement pursuant to Section 13.02(b), then the City shall provide written notice of such objections to the Developer within ten (10) business days of receiving the assignment notice from Developer. Developer will not be released from its obligations under this Agreement if the City objects to the assignment as described above and such objections are not resolved by and between Developer and the City; provided, however, the City shall not unreasonably withhold Developer's release from its obligations under this Agreement.
- (e) Upon any assignment under this Section, the Developer shall be deemed to be automatically released of any obligations under this Agreement so assigned.
- (f) Any assignment must be in writing, set forth the assigned rights and obligations and be executed by the proposed assignee. A copy of the assignment document must be delivered to the City.
- (g) A conveyance of all or any portion of the Property shall not be an assignment of rights or obligations hereunder to the acquiring party unless the conveyance documents include an express assignment of rights and obligations under this Agreement.

13.03 AMENDMENT

This Agreement may be amended only by the mutual written agreement of the Parties. The Parties understand and agree that all amendments are subject to final approval by the City Council.

13.04 ENTIRE AGREEMENT

This Agreement constitutes the entire agreement between Developer and the City. To the maximum extent permitted under the law, no terms shall be implied by operation of law or otherwise. This Agreement shall supersede all previous communications, representations, or agreements, either oral or written.

13.05 FORCE MAJEURE

Except as otherwise provided herein, an equitable adjustment shall be made for delay or failure in performing if such delay or failure is caused by conditions beyond the Party's reasonable control. Events of "Force Majeure" (herein so called) include, but are not limited to, the following:

- (a) Acts of God;
- (b) Extreme weather events;
- (c) Pandemics or similar occurrence;
- (d) Orders or acts of civil or military authority; or
- (e) Riots or acts of terrorism.

13.06 GOVERNING LAW AND VENUE

This Agreement, and all rights and obligations of the Parties hereto, shall be governed by and construed in accordance with the laws of the State of Texas, exclusive of conflict of law provisions. Venue of any suit brought under this Agreement shall be in a court of competent jurisdiction in Williamson County, Texas. Parties irrevocably waive any objection to personal jurisdiction on *forum non conveniens*.

13.07 SEVERABILITY

In the event that any provision of this Agreement is deemed illegal, invalid, or unenforceable, it is the intent of the Parties that the remainder of this Agreement shall not be affected.

13.08 SURVIVAL

In addition to any provisions for survival of provisions of and obligations under this Agreement elsewhere in this Agreement, the following sections and provisions survive all other expiration, termination, or rescission of this Agreement: indemnity, insurance

coverage for covered risks during the term of this Agreement, coverage of any bonds, letters of credit, and third-party guarantees issued in accordance with this Agreement, representations and warranties of the parties, Developer obligations as they related to the Homeowner's Association, and liabilities of City employees.

13.09 COUNTERPARTS

This Agreement may be executed in any number of counterparts, each of which shall be an original, and all such counterparts shall together constitute one and the same Agreement.

13.10 CONSIDERATION

This Agreement is executed by the Parties hereto without coercion or duress and for substantial consideration, the sufficiency of which is hereby acknowledged.

13.11 RESERVATION OF RIGHTS

Each Party reserves all rights, privileges, and immunities available under applicable laws to the extent that those right, privileges, and immunities are not inconsistent with the terms of this Agreement.

13.12 LIABILITIES OF CITY EMPLOYEES

To the extent permitted by State law, neither the City, any City agent or representative, nor any public official or employee shall be personally responsible for any liability arising under or related to this Agreement. Developer is to be compensated, reimbursed, and paid any damages solely from special assessments or bond funds. This Agreement imposes no personal liability upon the City, any of its officers, employees, or agents.

13.13 MUTUAL ASSISTANCE

The City and Developer shall do all things reasonably necessary and appropriate to perfect the terms of this Agreement including, but not limited to, aiding and assisting each other in carrying out such terms and provisions to render each Party in the economic condition contemplated by this Agreement.

13.14 BINDING EFFECT

This Agreement shall be binding on and inure to the benefit of the Parties, their respective successors and assigns.

13.15 INTERPRETATION

Each of the Parties has been represented by counsel of their choosing in the negotiation and preparation of this Agreement. Regardless of which party prepared the initial draft of this Agreement, this Agreement shall, in the event of any dispute, however its meaning or application, be interpreted fairly and reasonably and neither more strongly for or against any Party.

13.16 WAIVER

The waiver by either Party of a breach, default, delay or omission of any of the provisions of this Agreement by the other Party will not be construed as a waiver of any subsequent breach of the same or other provisions.

13.17 APPROVAL BY THE PARTIES

Whenever this Agreement requires or permits approval or consent to be hereafter given by either of the Parties, such approval or consent shall not be unreasonably withheld, conditioned, or delayed.

13.18 TIME

Time is of the essence of this Agreement. In computing the number of days in a time period all days will be counted excluding the day of the event that triggers the period, including Saturdays, Sundays and legal holidays; however, if the final day of any time period falls on a Saturday, Sunday or legal holiday, then the final day will be deemed to be the next day that is not a Saturday, Sunday or legal holiday.

13.19 NO THIRD-PARTY BENEFICIARIES

This Agreement is not intended to confer any rights, privileges or causes of action upon any non-party other than as to insurance, indemnity, defense, and hold harmless.

13.20 FURTHER ACTS

In addition to the acts and deeds recited in this Agreement and contemplated to be performed, executed, and/or delivered by the parties, the City and Developer will perform, execute, and/or deliver or cause to be performed, executed, and/or delivered at such time or times as may be necessary or appropriate under this Agreement any and all further lawful acts, deeds, and assurances that are reasonably necessary or appropriate to consummate and implement the transactions and agreements reasonably contemplated hereby.

13.21 NO JOINT VENTURE; INDEPENDENT CONTRACTOR

It is acknowledged and agreed by the Parties that the terms hereof are not intended to and shall not be deemed to create any partnership or joint venture among the Parties. The City, its past, present and future officers, elected officials, employees and agents of the City, do not assume any responsibilities or liabilities to any third party in connection with the development of the Project or the design, construction or operation of any portion of the Project. Developer is an independent contractor with respect to the Project and is not serving as the employee or agent of the City. Each Developer and the City has sole authority and responsibility to employ, discharge and otherwise control its own employees, and the respective employees of Developer and the City are not, and shall not be deemed to be, employees of the other. Neither party has the right or power to bind or obligate the other party for any liabilities or obligations without the prior written consent of the other party.

13.22 PARAGRAPH HEADINGS

The paragraph headings contained in this Agreement are for convenience only and will in no way enlarge or limit the scope or meaning of the various and several paragraphs.

13.23 INDEMNIFICATION

DEVELOPER HEREBY COVENANTS AND AGREES TO RELEASE, DEFEND, HOLD HARMLESS, AND INDEMNIFY CITY, AND THE PAST, PRESENT AND FUTURE OFFICERS, AGENTS, SERVANTS AND EMPLOYEES THEREOF, FROM AND AGAINST ALL THIRD-PARTY CLAIMS, SUITS, JUDGMENTS, DAMAGES, AND DEMANDS (TOGETHER, “THIRD PARTY CLAIMS” OR “TPC”) AGAINST THE CITY, WHETHER THREATENED, ANTICIPATED, OR ASSERTED, INCLUDING WITHOUT LIMITATION REASONABLE ATTORNEY’S FEES, RELATED EXPENSES, EXPERT WITNESS FEES, CONSULTANT FEES, AND OTHER COSTS, ARISING OUT OF THEIR NEGLIGENCE OR OTHER WRONGFUL CONDUCT, INCLUDING THE NEGLIGENCE OF DEVELOPER’S EMPLOYEES, CONTRACTORS, SUBCONTRACTORS, MATERIALMEN, AND AGENTS OCCURRING IN CONNECTION WITH THE CONSTRUCTION OF ANY PUBLICLY DEDICATED INFRASTRUCTURE WITHIN THE PROJECT; AND IT IS EXPRESSLY UNDERSTOOD THAT SUCH TPC SHALL, EXCEPT AS MODIFIED BELOW, INCLUDE TPC EVEN IF CAUSED BY THE CITY’S OWN CONCURRENT (BUT NOT GROSS) NEGLIGENCE. DEVELOPER SHALL NOT, HOWEVER, BE REQUIRED TO INDEMNIFY THE CITY AGAINST TPC CAUSED BY THE CITY’S SOLE NEGLIGENCE. IF THE CITY INCURS TPC THAT ARE CAUSED BY THE CONCURRENT NEGLIGENCE OF DEVELOPER AND THE CITY, DEVELOPER’S INDEMNITY OBLIGATION WILL BE LIMITED TO A FRACTION OF THE TOTAL TPC AND EXPENSES EQUIVALENT TO DEVELOPER’S OWN PERCENTAGE OF RESPONSIBILITY. THE OBLIGATIONS UNDER THIS SECTION 13.23 SURVIVE THE TERMINATION OR EXPIRATION OF THIS AGREEMENT.

13.24 CLAIMS AND RELEASES

- (a) Claims. If the City notifies Developer of any TPC, Developer shall assume on behalf of the City and conduct with due diligence and in good faith the investigation and defense thereof and the response thereto with counsel selected by Developer but reasonably satisfactory to the City; provided, that City has the right to be represented by advisory council of their own selection and at their own expense; and provided further, that if any such Claim involves Developer and the City and the City has been advised in writing by counsel that there may be legal defenses available to it which are inconsistent with those available to Developer, then City has the right to select separate counsel to participate in the investigation and defense of and response to such TPC on City’s own behalf, and Developer shall pay or reimburse the City for all reasonable legal fees and costs incurred by the City because of the selection of such separate counsel.
- (b) Release. Other than to the extent caused by the City’s default, Developer hereby releases the City with respect to all TPC regarding any alleged, established or admitted negligent or wrongful act or omission of the City, the Corporation or any agents, contractors, representatives or employees of the City with respect to actions under this Agreement,

INCLUDING ALL CLAIMS CAUSED BY THE NEGLIGENCE OR STRICT LIABILITY OF THE CITY but excluding Claims to the extent caused by the gross negligence or willful misconduct of the City. The provisions of this Section will survive the expiration or earlier termination of this Agreement.

13.25 CONFLICTS

(a) In the event of a conflict between this Agreement and any other agreement between the Parties or Applicable Law, this Agreement shall control.

13.26 EXHIBITS

The following exhibits are attached and incorporated herein by reference for all purposes:

- Exhibit A:** Legal Description of the Property
- Exhibit B:** Intentionally Omitted
- Exhibit C:** Concept Plan and Design Standards
- Exhibit D:** Community Benefits
- Exhibit E:** Parks and Open Space
- Exhibit F:** Required Insurance
- Exhibit G:** Required Verifications and Form 1295
- Exhibit H:** Wastewater Facilities
- Exhibit I:** Intentionally Omitted
- Exhibit J:** Engineering Report
- Exhibit K:** Reserved ROW
- Exhibit L:** Water Facilities

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, each party hereto has signed this Agreement or caused this Agreement to be signed in its corporate name by its officer thereunto duly authorized, all to be effective as of the date first above written.

CITY OF HUTTO, TEXAS
a home rule city and municipal corporation

By: [Signature]
James R. Earp, CPM
City Manager

Date: 9/11/2024

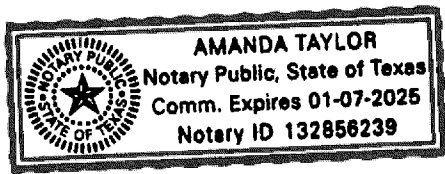
ATTEST:

By: [Signature]
Laura Hallmark, City Secretary
City of Hutto, Texas

Date: 9/11/2024

STATE OF TEXAS §
 §
COUNTY OF Williamson §

This instrument was acknowledged before me on this the 11th day of September 2024, by James Earp, as City Manager of the City of Hutto, Texas, a home rule city, on behalf of said municipality.



[Signature]
Notary Public, State of Texas
Exp. 1/7/2025

DEVELOPER

MB Hutto, LLC

a Delaware limited liability company

By: CH II MB Hutto, LLC,
a Delaware limited liability company
its Manager

By: *Daniel A. Traylor*
Daniel A. Traylor, Manager
Date: 9/10/2024

STATE OF INDIANA

§

COUNTY OF Vanderburgh

§

§

This instrument was acknowledged before me on this the 10th day of September 2024,
by Daniel A. Traylor, as Manager of CH II MB Hutto, LLC, a Delaware limited liability company,
as Manager of MB Hutto, LLC, a Delaware limited liability company, on behalf of said entity.

Annette M. Williams
Notary Public, State of Indiana

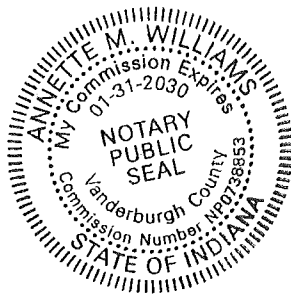
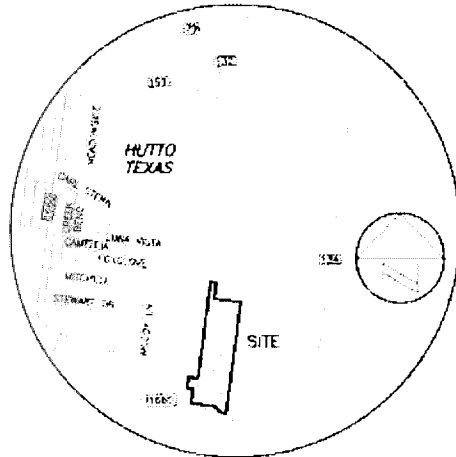


Exhibit A

Legal Description of the Property

[See attached.]

EXHIBIT A



LOCATION MAP
NOT TO SCALE

RECORDERS MEMORANDUM

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EARLY LAND SURVEYING, LLC

P.O. Box 92588, Austin, TX 78709
 512-202-8631
 earlysurveying.com
 TBPELS Firm No. 10194487

87.834 ACRES WILLIAMSON COUNTY, TEXAS

A DESCRIPTION OF 87.834 ACRES (APPROXIMATELY 3,826,046 SQ. FT.) IN THE JAMES HICKMAN SURVEY, ABSTRACT NO. 291 IN WILLIAMSON COUNTY, TEXAS, BEING ALL OF A 4.23 ACRE TRACT (TRACT 1), ALL OF A 45.77 ACRE TRACT (TRACT 2), ALL OF A 34.17 ACRE TRACT (TRACT 3) AND ALL OF A 3.735 ACRE TRACT (TRACT 4) CONVEYED TO SWINDOLL INVESTMENTS, LP IN A SPECIAL WARRANTY DEED EXECUTED DECEMBER 15, 2008 AND RECORDED IN DOCUMENT NO. 2008093458 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; SAID 87.834 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 1/2" rebar found in the north right-of-way line of F.M. 1660 (right-of-way width varies) as shown on TXDOT right-of-way map Control No. 1556 – Section No. 2 – Job No. 1, being the southwest corner of the said Swindoll Investments 34.17 acre tract, being the southeast corner of the said 3.735 acre tract;

THENCE North 82°47'48" West with the north right-of-way line of F.M. 1660 and the south line of the said 3.735 acre tract, a distance of 112.14 feet to a calculated point for a southwest corner of the said 3.735 acre tract, being the southeast corner of a 1.99 acre tract described in Document No. 2015076155 of the Official Public Records of Williamson County, Texas, from which a 1/2" rebar found, bears South 07°09'25" West, a distance of 0.66 feet and a concrete highway monument found in the north right-of-way line of F.M. 1660 at highway station 142+86.6, 40' left, bears North 82°47'48" West, a distance of 312.64 feet;

THENCE with the common line of the said 3.735 acre tract and the said 1.99 acre tract, the following two (2) courses and distances:

1. North 07°09'25" East, a distance of 455.34 feet to a 1/2" rebar with "Early Boundary" cap set for the northeast corner of the said 1.99 acre tract;
2. North 82°39'10" West, a distance of 192.08 feet to a 1/2" rebar with "Early Boundary" cap set for the northwest corner of the said 1.99 acre tract;

Page 2

THENCE with the perimeter of the said 3.735 acre tract, the following two (2) courses and distances:

1. North 07°13'30" East, a distance of 363.22 feet to a 1/2" rebar with "Early Boundary" cap set for the northwest corner of the said 3.735 acre tract;
2. South 80°05'23" East, a distance of 310.92 feet to a 1/2" rebar with "Early Boundary" cap set for the northeast corner of the said 3.735 acre tract, being in the west line of the said Swindoll Investments 34.17 acre tract, being in the east line of a 34.17 acre tract conveyed to Claudia Ann Crislip in Document No. 2018083501 of the Official Public Records of Williamson County, Texas;

THENCE North 07°38'21" East with west line of the said Swindoll Investments 34.17 acre tract and the east line of the said Crislip 34.17 acre tract, a distance of 3102.82 feet to a 1/2" rebar with "Early Boundary" cap set for the northwest corner of the said Swindoll Investments 34.17 acre tract and the northeast corner of the said Crislip 34.17 acre tract, being also in the south line of a 367.15 acre tract described in Document No. 2003097298 of the Official Public Records of Williamson County, Texas, from which a 5/8" rebar found for an angle point in the south line of the said 367.15 acre tract, being the northwest corner of a 50.00 acre tract described in Document No. 2018083501 of the Official Public Records of Williamson County, Texas, bears North 82°43'53" West, a distance of 1098.11 feet and an additional 1/2" rebar found, bears South 89°07'36" East, a distance of 4.99 feet;

THENCE with the common line of the said Swindoll Investments 34.17 acre tract, the said 45.77 acre tract and the said 367.15 acre tract, the following three (3) courses and distances:

1. South 82°43'53" East, a distance of 190.02 feet to a 5/8" rebar found;
2. South 07°39'24" West, a distance of 516.71 feet to a 5/8" rebar found;
3. South 82°47'33" East, a distance of 849.03 feet to a 1/2" rebar found for the northeast corner of the said 45.77 acre tract, being in the west line of a 143.5 acre tract described in Document No. 2010007498 of the Official Public Records of Williamson County, Texas;

THENCE South 07°41'20" West with the east line of the said 45.77 acre tract and the west line of the said 143.5 acre tract, a distance of 2631.49 feet to a calculated point for a southeast corner of the said 45.77 acre tract, being the northeast corner of the said 4.23 acre tract, from which a 5/8" rebar found for the northwest corner of the said 4.23 acre tract, being an angle point in the south line of the said 45.77 acre tract, bears North 82°16'16" West, a distance of 216.00 feet;

Page 3

THENCE South 07°41'20" West with the east line of the said 4.23 acre tract and the west line of the said 143.5 acre tract, a distance of 968.04 feet to a calculated point north right-of-way line of F.M. 1660, being the southeast corner of the said 4.23 acre tract, being also the southwest corner of the said 143.5 acre tract, from which a mag nail with washer set for reference in the centerline of a concrete ditch, bears South 07°41'20" West, a distance of 8.31 feet;

THENCE with the north right-of-way line of F.M. 1660, the south line of the said 4.23 acre tract and the south line of the said 45.77 acre tract, the following three (3) courses and distances:

1. North 63°38'49" West, a distance of 211.52 feet to a calculated point in a creek;
2. North 47°09'31" West, a distance of 240.10 feet to a concrete highway monument found, from which a concrete highway monument found in the south right-of-way line of F.M. 1660 at highway station 153+28.2, 40' right, bears South 23°57'59" West, a distance of 148.27 feet;
3. North 82°47'48" West, a distance of 231.38 feet to a calculated point, from which a 1/2" rebar found, bears North 07°41'20" East, a distance of 0.19 feet;

THENCE with the north right-of-way line of F.M. 1660 and the south line of the said Swindoll Investments 34.17 acre tract, the following two (2) courses and distances:

1. North 82°47'48" West, a distance of 174.52 feet to a concrete highway monument found at highway station 149+44.5, 40' left;
2. North 82°47'48" West, a distance of 233.33 feet to the **POINT OF BEGINNING**, containing an area of 87.834 acres, more or less.

Surveyed on the ground on December 15, 2020

Bearing Basis: The Texas Coordinate System of 1983 (NAD83), Central Zone, utilizing the SmartNet North America Network.

Attachments: Survey Drawing No. 1093-001-BASE

12/21/2020

Joe Ben Early, Jr. Date
Registered Professional Land Surveyor
State of Texas No. 6016

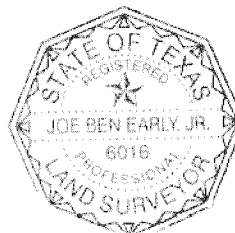


Exhibit B

Intentionally Omitted

Exhibit C

Concept Plan and Design Standards

[See attached.]

SITE METRICS

Total Site Area	87.8 acres	
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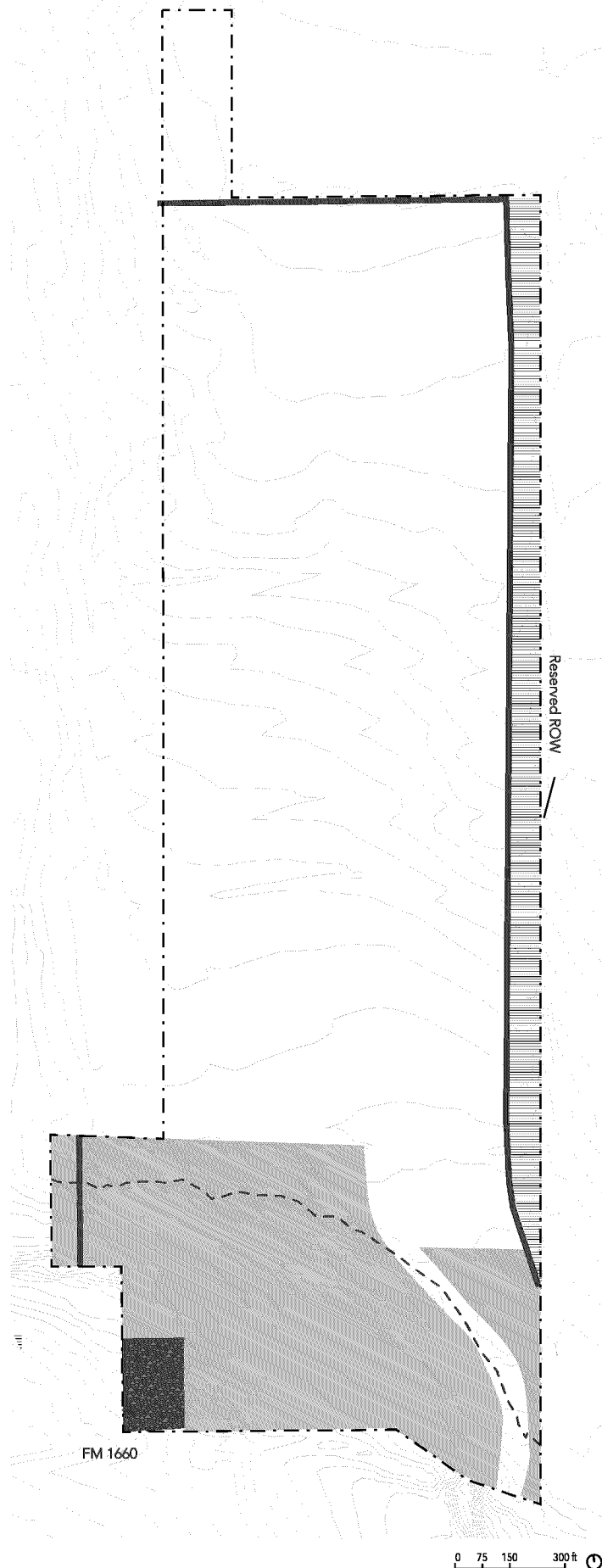
LAND USE SUMMARY TABLE

	Acres	Max Units
Single Family 2 (SF-2)	66.5	520
Commercial	1	
Open Space	15	
Reserved Right of Way	5.3	
TOTAL	87.8	520

General Notes

- All maximum allowable densities are subject to the Traffic Impact Analysis (TIA).
- Maximum residential units are consistent with the Meadow Brook SER.
- In order to achieve a diversity in for-sale homeownership opportunities, access to each lot may be provided from a public street, or public alley.
- The following activities and structures are permitted within the 75' riparian zone:
 - Entrance Road
 - Commercial Structure
 - Trail construction

All residential lots and associated structures and amenities will be located outside of the riparian zone.
- The 100-year floodplain shown hereon was calculated utilizing City of Hutto drainage criteria and represents a fully developed 100-year discharge utilizing ATLAS 14 flow rates. A formal drainage study will be provided to the City of Hutto for review with the Preliminary Plan application.



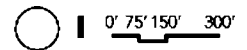
Legend:

- Site Boundary
 - Atlas-14: 100 year floodplain
 - 75' Riparian Buffer
 - Existing ROW
 - ROW Dedication
 - 1ft Topography lines
 - Easements
- Zoning:**
- Single Family 2 (SF-2)
 - Commercial
 - Open Space



MEADOW BROOK ILLUSTRATIVE PLAN

This plan is conceptual in nature and may be amended as long as it is in compliance with the terms of the Development Agreement and PUD Zoning.



RECORDERS MEMORANDUM

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EXHIBIT C: CONCEPT PLAN AND DESIGN STANDARDS

Meadow Brook Design Guidelines

City of Hutto

May 2024

Developer:  **COLUMNAR**
LAND

MB Hutto, LLC
c/o John Landwehr
Columnar Land
5500 Greenwood Plaza Blvd. Suite 130
Greenwood Village, CO 80111

 LIONHEART

Contents

- 1. General Standards for all Development 4
- 2. Single Family Attached Design Standards..... 6
- 3. Single Family Detached Design Standards..... 10

RECORDERS MEMORANDUM

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B1. General Standards for all Development

Design

A Distinct groups of buildings will share a common, identifiable, complementary design. This includes non-residential structures in the development such as amenity centers, maintenance buildings, and garages. A multiple household residential structure must have a single definitive, consistent style.

Mechanical equipment screening

B Rooftop mechanical equipment is prohibited.

C Ground mounted mechanical equipment (air conditioning units, utility boxes, etc.) must be hidden or screened from view with architecturally integral wing walls or living screening material that will grow to the same height as the equipment being screened or placed where they are not visible from the public right-of-way.

D Solar panels are exempt from mechanical equipment screening standards

Landscaping

E Xeriscaping is required in common open spaces and strongly encouraged on private lots for water conservation.



Adjacent buildings should be of similar size to create a visually connected street boundary.



Areas for dumpsters are screened from the public right-of-way.



The lights on the facade emphasize the architecture features and promote safety at night.



Utilizing vegetative accents draw attention to the buildings' architectural details while screening the facade facing the street.



Utilities located along the ground floor and at street corners impede the line of sight for both motorists and pedestrians.

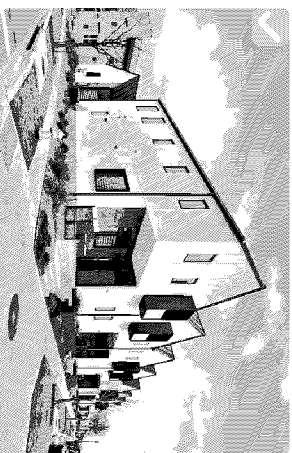
2. Single Family Attached Design Standards

Site Plan and Massing

- A** A single, large, dominant building mass should be avoided. The structure must have a single definitive, consistent style. Mixing of various architectural styles on the same building is inappropriate.
- B** Building designs should incorporate visually heavier and more massive elements at the building base, and lighter elements above the base.
- C** The maximum length of a Single Family Attached building is 200 ft. or 6 units whichever is less.
- D** Wall and roof planes must have offsets or setbacks with a differential in horizontal plane of at least 1 ft every 50 feet along the structure..
- E** Building entries next to a public street, must be pedestrian-scaled, providing an expression of human activity or use in relation to building size. Doors, windows, entranceways, and other features such as corners, setbacks, and offsets can be used to create pedestrian scale.

Building Design and Facades

- F** All facades visible from public view shall be broken up into vertical bays. Bays shall be articulated by change in material texture, color, or variation in wall plane.
- G** Variations in wall plane should be related to entrances, the integral structure and/or the interior space organization and activities, and not just for cosmetic effect.
- H** All walls and elevations on all floors of multiple household buildings must have windows, except when necessary to assure privacy for adjacent property owners.
- I** Windows should be located to maximize the possibility of occupant surveillance of entryways and common areas.
- J** Garage doors can make up to 90% of the overall frontage of rear loaded facade.
- K** Two of the following design elements must be implemented on structures facing any public rights-of-way (other than alleys), courtyards, parks, or trails and open space.
 - i. Two unique roof eave lines
 - ii. Two unique wall planes
 - iii. Two unique material patterns or colors



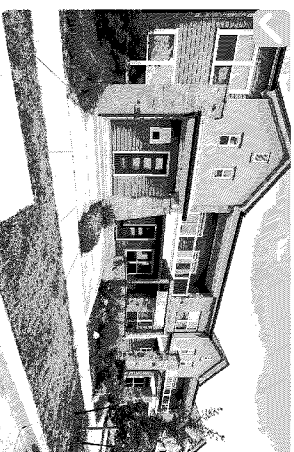
Corner entry and wrapped porches are encouraged.



Buildings should be rear loaded to minimize pedestrian vehicle collisions.



Passes add to the pedestrian experience and overall architectural quality.



Facades must be articulated with bays, insets, balconies, porches, or stoops related to entrances and windows.



Building designs should incorporate visually heavier and more massive elements at the building base, and lighter elements above the base.

Materials

- L** All walls must include materials and design characteristics consistent with those on the front. Lesser quality materials or details for side or rear walls are prohibited.
- M** Masonry (including brick, stone, stucco, or cementitious siding) must be used for at least 50% of the exterior surface area.
- N** Masonry cementitious siding does not include 4'x8' sheets, vinyl, or metal accents.
- O** Material or color changes must only occur at a change of plane or reveal line. Piecemeal embellishment and frequent material changes are prohibited.

Roofs

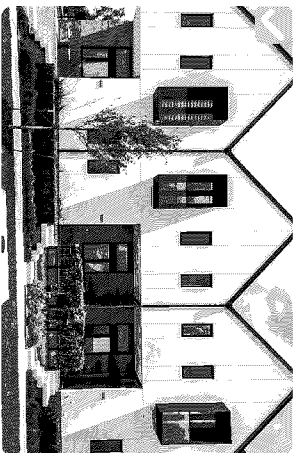
- P** Roof lines must be designed to correspond and denote building elements and functions such as entrances and arcades.
- Q** On buildings where flat roofs are the predominant roof type, parapet walls must vary in height and/or shape at least once every 50 ft. along a wall.
- R** On buildings where sloping roofs are the predominant roof type, building groups must have a variety of roof lines.
- S** Roof materials must be high quality, durable and consistent with local architectural themes. Acceptable visible roof materials include concrete tile, high profile asphalt shingles, metal shingles and split seam metal.



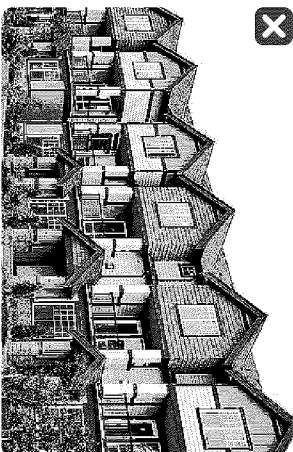
Garages can include windows to be consistent with the overall architecture.



Variations in roof lines help to break up massing.



Building set backs provide space for adaptive vegetation to be grown, improving pedestrian experience.



Repetition of the same elements and colors to multiple structures create a monotonicity in the facade.

B3. Single Family Detached Design Standards

Site Plan and Massing

A Front setback lines along a street shall be varied to encourage a variation of street appearance.

B Development of ten or more single household detached, single household village, single household zero lot line, and two household dwellings must have five or more different elevations, or a number of elevations equal to at least 10% of the number of lots in the development phase, whichever is more. (Different trim levels on houses with a nearly identical floor plan are not considered different elevations.)

C Houses of the same elevation, including those with identical, similar, or mirrored floor plans, cannot be placed on adjacent lots or directly across the street from each other.

D At least one of the following building elements must be used:

- Side, rear or alley loaded garage, or detached garage.
 - Masonry (brick, stone) rainscot at least 4 ft. on all exterior walls, if the side and rear walls are not those materials.
 - Functional front porch at least 100 sq. ft.
- F** Building entries next to a public street, or alley must be pedestrian-scaled, providing an expression of human activity or use in relation to building size.

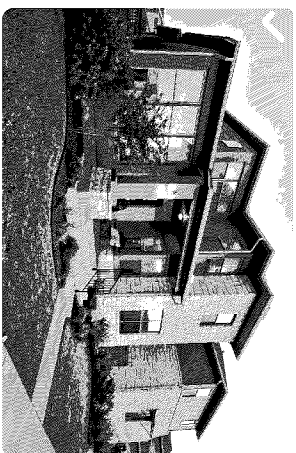
Building Design and Facades

G Facades must be articulated by using color, arrangement, or change in materials to emphasize the facade elements.

H Exterior wall planes may be varied in height, depth, or direction. Doors and windows must be detailed to add visual interest to the facade.

I Design elements and detailing, including the presence of windows and window treatments (only for walls that front another residential unit), trim detailing, and exterior wall materials, must be continued completely around the structure.

J Homes must avoid front elevations resulting in a streetscape dominated by the sight of garage doors.



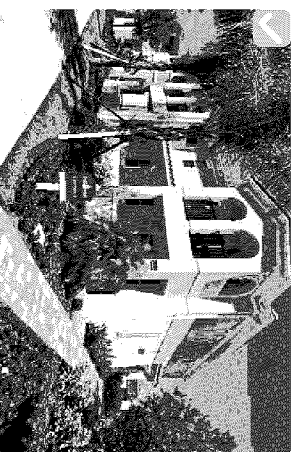
Varied roof lines are encouraged to break up the form and add visual interest to the streetscape.



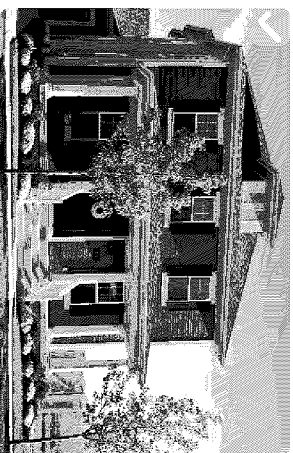
Building facades should orient towards sidewalks promoting safety and activation of the streetscape.



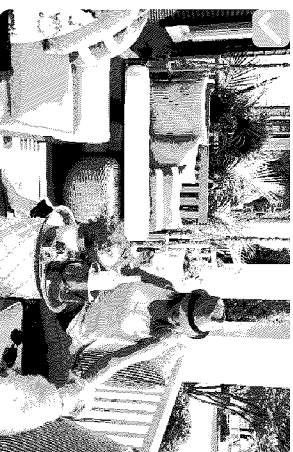
The low walls and layered planting combined with natural materials, like stone, add variety and texture to the frontage.



Details such as the columns and covered porches and balconies, emphasize the entry point to the home. The planting design also brings attention to the main entrance.



The entry point is reaffirmed through the architectural details like the stairs, windows and awning.



Front porches can help serve as a gradual transition between the sidewalk and the home.

Materials

L All walls must include materials and design characteristics consistent with those on the front. Lesser quality materials or details for side or rear walls are prohibited.

M Material or color changes must only occur at a change of plane or reveal line. Piecemeal embellishment and frequent material changes are prohibited.

Roofs

N Roof forms must be designed to correspond and denote building elements and functions such as entrances and arcades.

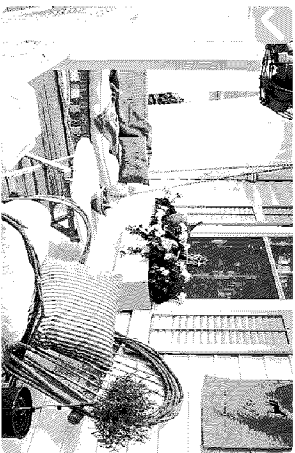
O Roof materials must be high quality, durable and consistent with local architectural themes.



The light fixtures compliment the home's architectural style.



The lights on the facade emphasize the architecture features and accents the landscape.



Porches should be at least 6 feet wide to provide space for comfortable seating to encourage socializing.



Garage doors must integrate into the overall design of the site with color scheme of the home.



Facades must be articulated by using color, arrangement, or change in materials to emphasize the facade elements.

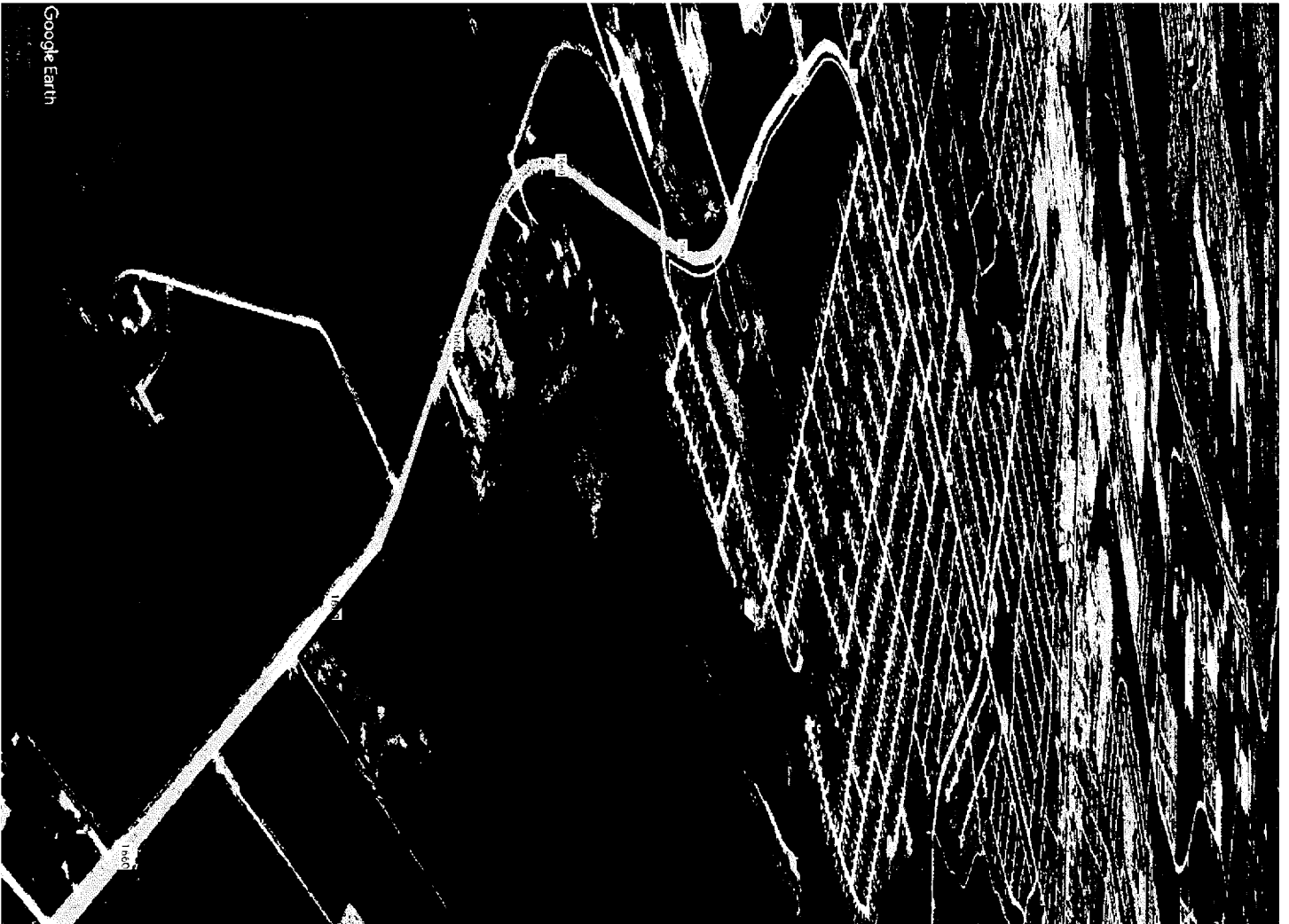
Exhibit D

Community Benefits

[See attached.]

EXHIBIT D: MEADOW BROOK COMMUNITY BENEFITS

MAY 2024



Google Earth

1.460



RECORDERS MEMORANDUM

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THE TEAM

CLIENTS

Columnar Investments

CONSULTING TEAM

Lionheart Places, LLC

Longaro Development Consulting ATX

Development Planning & Financing Group

Metcalfe Wolff Stuart & Williams, LLP

CONCEPTUAL PLAN

The plan for the 87.8-acre property is to meet a wide range of housing needs in an active community anchored by over 17-acres of parks and open space and connected by more than a mile of trails. The Meadow Brook community will provide the City of Hutto with up to 520 units of attainable for-sale housing opportunities including both detached 50' and 60' lots and attached townhomes on fee-simple lots.



RECORDERS MEMORANDUM
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MEADOW BROOK PID COMMUNITY BENEFITS SUMMARY

1. PUBLIC BENEFITS PROVIDED TO THE CITY OF HUTTO

Meadow Brook will be annexed into the City of Hutto providing much needed opportunities for home ownership at a variety of income levels and for a wide mix of households in an active and connected community anchored by a meaningful parks and open space system.

2. GENERATE PRIMARY EMPLOYMENT

Meadow Brook will include a 1-acre commercial tract along FM 1660 and will support and create demand for additional commercial development throughout the City with the addition of up to 520 new homes.

3. DESIGN STANDARDS

New homes in the Meadow Brook community will be subject to design standards that exceed the City of Hutto Unified Development Code and include enhancements such as front porches, large shared courtyards, and four-sided design among others.

4. ENHANCED PARKS, TRAILS, & OPEN SPACE

Eighteen acres, over 20% of the land area, within the Meadow Brook community will be developed and preserved as both active and passive park and recreation space that includes future connections to the City's Cottonwood Trail network. Over 1-mile of shared use paths or trails will be constructed within the community connecting all residents to the open space network. All parks, open spaces, and trails will be maintained by the developer. In addition to preserving over 20% of the land area the developer will pay parkland dedication and development fees to the City.

5. ENVIRONMENTAL PROTECTION AND STORMWATER

Meadow Brook will meet all applicable development regulations for environmental protection, storm water quality and flood control. The project will exceed the required 75' riparian zone buffer through the creation of a signature park and open space along the creek.

6. AFFORDABLE HOUSING

Meadow Brook is providing fee-simple lots that include attached townhomes, and detached homes on 50' and 60' lots. Fee-simple townhome lots enable first time homeowners to qualify for mortgages. The PID financing structure will enhance affordability by reducing the total cost to the home buyer.

7. IMPROVE PUBLIC EDUCATION

Upon buildout, the Project is anticipated to generate approximately \$2.37 million in incremental ad valorem taxes for the Hutto ISD.

8. IMPROVE THE PUBLIC ROADWAY NETWORK

The Developer has proposed enhanced transportation options through the provision of the only north/south connection to Carl Stern Drive and CR 199. Meadow Brook will include an off-street shared use path along a key residential street connecting the community to parks and open spaces with a dedicated bicycle facility and walking path shaded by trees. The project includes dedication of ROW for a major north/south regional roadway.

MEADOW BROOK CODE COMPARISON

Code #	Standard	Meadow Brook	Modify Code	Meet Code	Exceed Code
10.303.4	Density of SF-2 Base District must range from 8 - 14 dwelling units per net acre.	The net density of the Meadow Brook PUD is 7.5 units per net acre. A lower density is reflective of the amount of open space reserved for residents.			
10.304.6	Commercial Uses	Commercial uses are further restricted to remove the following uses from the list of allowable uses: Large Item sales and Rental Class 1 and 2; Vehicle minor repair facility; Pawn shops; Payday loans.			
10.403.3	Lot Dimension and Area: The minimum lot area and lot width in the SF-2 District are 4,500 SF and 45'. Within a townhouse development lots may be less than 4,500 sf and 45' wide.	Meadow Brook is offering a wide variety of lots and housing typologies including detached single family on 60' and 50' lots and townhomes on 20' lots. All product types meet or exceed the dimension and area standards of the code.			
10.403.4	Building Envelope	The Meadow Brook PUD is meeting all dimensional and building envelope standards with one modification for the attached product to allow the main building to have a minimum 5' rear setback to accommodate a garage adjacent to the alley.			
10.403.4.3	Riparian Setback	The Meadow Brook PUD is exceeding the riparian setback along the northern boundary of the setback and adding approximately 3.5 acres. In order to allow for commercial development along FM 1606 a request to allow an encroachment of up to 1-acre in the riparian setback is part of the request. Overall a larger setback has been provided.			

Code #	Standard	Meadow Brook	Modify Code	Meet Code	Exceed Code
10.403.7.3	Common Open Space - The minimum amount of Common Open Space is 20% of the total area.	The Meadow Brook PUD is providing over 20% of the Land Area as common open space. In addition to providing the space the Meadow Brook PUD is committing to provide the following amenities at a minimum: Pavilion, Playscape, and Minimum of 1-mile of trails.			
10.405.9	Parking and loading space number standards. 2 spaces per unit.	The Meadow Brook PUD is providing additional overflow / visitor parking at a rate of .5 spaces per unit for the townhome units and requiring the additional space to be within 200' of the unit.			
10.406.3	Household design standards	The Meadow Brook PUD has provided a design standards document that includes requirements for 4-sided design, material standards and front porches among others.			
10.407.3	Landscaping standards. Tree lawns are required; xeriscaping is strongly encouraged	The Meadow Brook PUD has provided wider tree lawns within street sections and stipulated tree species that are compatible with tree lawns. Meadow Brook PUD has also required xeriscaping for all HOA areas and strongly encourages for private lots.			
10.610.1	Sidewalks and Tree Lawns. City of Hutto Street standards include minimum 5' tree lawns and minimum 5' sidewalks.	The Meadow Brook PUD includes wider tree lawns throughout and 8' shared use paths along one side of the collector and some of the residential streets.			

Exhibit E

Parks and Open Space

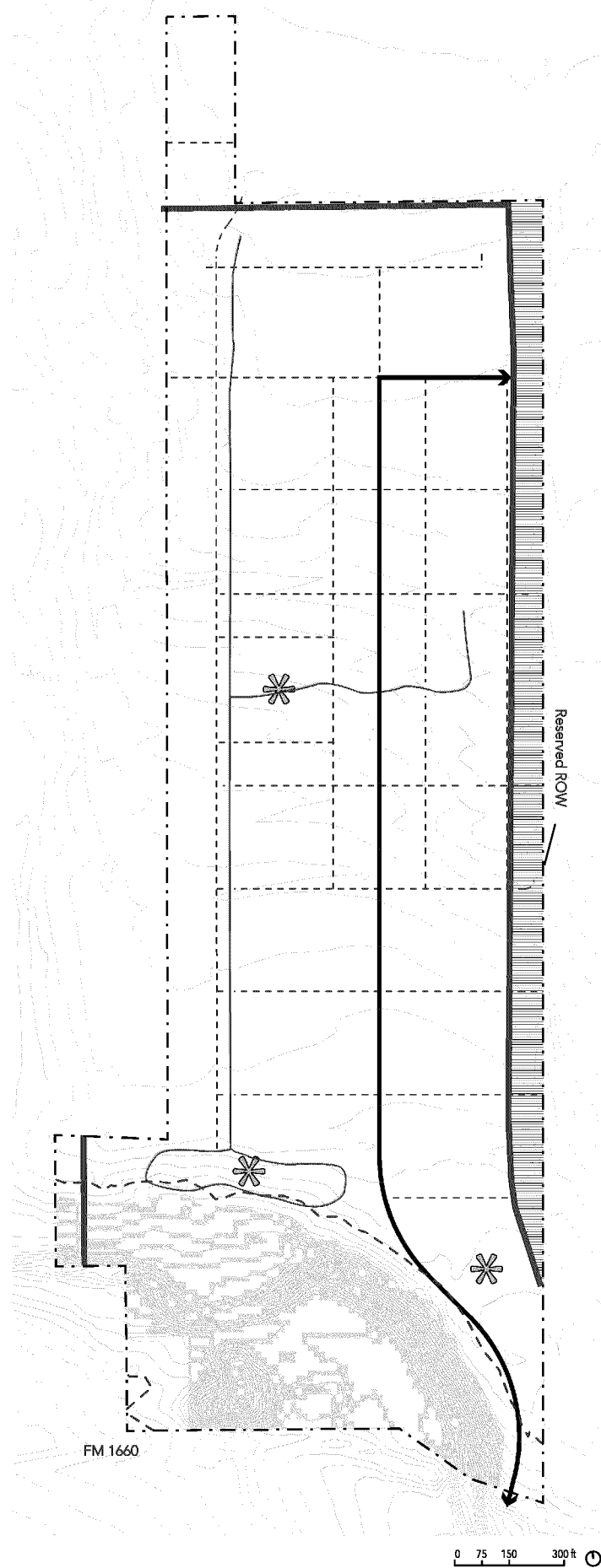
[See attached.]

REQUIRED PARKLAND

Park Type	Min. Acres
Passive	10 acres
Active	5 acres
TOTAL	15 acres

General Notes

- The location, size, and orientation of active parks may change as long as the following standards are met:
 - An active park or trail is provided within 1/4 mile of each residence.
 - Required amenities identified in the Meadow Brook PUD are constructed.



Legend:

- | | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> --- Site Boundary Atlas-14: 100 year floodplain --- 75' Riparian Buffer Existing ROW ROW Reserve Future ROW Easements 1ft Topography lines | <p>Parks:</p> <ul style="list-style-type: none"> Passive Parks Active Parks HOA Parks Trails Residential Collector Streets / Alleys |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

EXHIBIT F – REQUIRED INSURANCE

Developer and all contractors, subcontractors, engineers, and consultants shall, for the term of this agreement, carry and maintain insurance policies with a reputable, in accordance with **Exhibit E**, while performing work on the construction of any public improvements seeking reimbursement by the Public Improvement District.

(a) Worker’s Compensation and Employers’ Liability Insurance.

Coverage with limits consistent with statutory benefits outlined in the Texas Workers’ Compensation Act and minimum policy limits for employers’ liability of \$1,000,000 bodily injury for each accident, \$1,000,000 bodily injury by disease policy limit and \$1,000,000 bodily injury by disease each employee. City will accept workers’ compensation coverage written by the Texas Workers’ Compensation Insurance Fund. The insurance required by this subsection shall be in effect commencing not later than the commencement of construction of any portion of the Improvements.

(b) Automobile Liability Insurance.

Coverage for all owned, non-owned, and hired motor vehicles used, with respect to the Property or the Project in a minimum amount of \$1,000,000, combined single limit.

(c) Commercial General Liability.

Coverage with a minimum limit of \$1,000,000 per occurrence for bodily injury and/or property damage, with a minimum aggregate of \$1,000,000 and blanket contractual coverage, independent contractors’ coverage and explosion, collapse, and underground (X, C & U) coverage.

(d) Professional Liability.

For contractors/subcontractors providing professional engineering, architectural or design services under this Agreement, Engineers’ Professional Liability Insurance or other errors and omissions insurance coverage for the non-engineer professionals with a minimum limit of \$1,000,000 per claim and in the aggregate to pay on behalf of the assured all sums which the assured shall become legally obligated to pay as damages by reason of any negligent act, error, or omission committed or alleged to have been committed with respect to plans, maps, drawings, analyses, reports, surveys, change orders, designs or specifications prepared or alleged to have been prepared by the assured. The insurance required by this subsection shall be in effect commencing not later than the commencement of submission to City for approval of permits for construction of any phase of the Project. The insurance will be renewed or extended as necessary to remain in force as for claims made for two (2) years after final acceptance of the Project by the City.

(e) Additional Coverage for Asbestos and Hazardous Materials.

For work involving asbestos or any Hazardous Materials or risk of air, water, or soil pollution, the following insurance(s), in addition to the applicable requirements of (a)-(d) above, shall be required:

- (i) Asbestos abatement endorsement or pollution coverage to the Commercial General Liability policy with minimum bodily injury and Property damage limits of \$1,000,000 per occurrence for coverages A&B and products/completed operations coverage with a separate aggregate of \$1,000,000. This policy cannot exclude asbestos or any Hazardous Materials or pollution and shall provide “occurrence” coverage without a sunset clause.
- (ii) Pollution coverage in accordance with Title 49 C.F.R. § 171.8 requiring an MCS 90 endorsement with a \$5,000,000 limit when transporting asbestos in bulk in conveyances of gross vehicle weight rating of 10,000 pounds or more. All other transporters of asbestos shall provide either an MCS 90 endorsement with minimum limits of \$1,000,000 or an endorsement to their Commercial General Liability Insurance policy that provides coverage for bodily injury and Property damage arising out of the transportation of asbestos or other Hazardous Materials. The endorsement must, at a minimum, provide a \$1,000,000 limit of liability and cover events caused by the hazardous properties of airborne asbestos arising from fire, wind, hail, lightning, overturn of conveyance, collision with other vehicles or objects, and loading and unloading of conveyances.

The additional coverages required under 13.01(e)(i)-(ii) shall only be required to be carried and maintained by the entity actually performing the work involving asbestos or Hazardous Materials. The insurance required under this subsection shall commence no later than the commencement of each phase of construction if that phase will include work involving asbestos, any Hazardous Materials, or risk of air, water, or soil pollution.

- (a) Certificates of Insurance and Insurance Policy Documents. Certificates of Insurance will not be accepted as substitutes for copies of Insurance Policy Documents. The term “Insurance Policy Documents” means true and correct copies of the relevant policy of insurance including all declarations, definitions, schedules, endorsements, exclusions, exceptions, riders, waivers, jackets, modifications, notices, descriptions of deductibles and of self-insured retentions and all other instruments and other documents governing insurance coverage under such policy.
- (b) Special Requirements. Developer shall not cause or permit any insurance required hereunder to be canceled or lapse during the term of this Amendment. With respect to subsections 9.1(a)(i), (ii) and (iii), insurance coverage is to be written by companies duly authorized to do the business of insurance in the State of Texas at the time the policies are issued and will be written by companies with an A.M. Best rating of A-VII or better or otherwise approved in writing by the City. Additionally, with respect to subsections 9.1(a)(i), (ii) and (iii), all policies will contain a provision in favor of the City waiving subrogation and other rights of recovery against the City and will be endorsed to provide the City with a 30-day advance notice of cancellation or change in coverage. The City will be an additional insured as its interests may appear on the Commercial General and

Automobile Liability policies. All policies will provide primary coverage as applicable, with any insurance maintained by the City being excess and non-contributing. Developer shall submit copies of all insurance policies to the City providing evidence of insurance coverage required by this Amendment on or before the commencement of the Project except that asbestos, Hazardous Waste, pollution, and professional engineers and other errors and omissions policy documents need not be provided until those covered by such insurance commence work on the Project or as otherwise provided in this Amendment. The production of copies of all policies to be promptly supplemented with delivery to the City of copies of any and all changed or new Insurance Policy Documents. Developer will be responsible for (i) overseeing its contractors with respect to such contractors' obtaining and maintaining the insurance required hereunder and (ii) obtaining and keeping copies of such Insurance Policy Documents evidencing the insurance coverages required hereunder.

- (c) Additional Insured. All endorsements, waivers, and notices of cancellation as well as the policies of commercial general liability and automobile insurance shall provide that City is an additional insured and will be delivered to the City as provided in the Notices Section of this Amendment or such other address as the City may notify Developer in writing.

EXHIBIT G – REQUIRED CERTIFICATIONS AND FORM 1295

1. Verifications of Statutory Representations and Covenants. The Developer makes the following representations and covenants pursuant to Chapters 2252, 2271, 2274, and 2276, Texas Government Code, as heretofore amended (the “Government Code”), in entering into this Agreement. As used in such verifications, “affiliate” means an entity that controls, is controlled by, or is under common control with the Developer within the meaning of SEC Rule 405, 17 C.F.R. § 230.405, and exists to make a profit. Liability for breach of any such verification during the term of this Agreement shall survive until barred by the applicable statute of limitations, and shall not be liquidated or otherwise limited by any provision of this Agreement, notwithstanding anything in this Agreement to the contrary.
 - (a) Not a Sanctioned Company. The Developer represents that neither it nor any of its parent company, wholly- or majority-owned subsidiaries, and other affiliates is a company identified on a list prepared and maintained by the Texas Comptroller of Public Accounts under Section 2252.153 or Section 2270.0201, Government Code. The foregoing representation excludes the Developer and each of its parent company, wholly- or majority-owned subsidiaries, and other affiliates, if any, that the United States government has affirmatively declared to be excluded from its federal sanctions regime relating to Sudan or Iran or any federal sanctions regime relating to a foreign terrorist organization.
 - (b) No Boycott of Israel. The Developer hereby verifies that it and its parent company, wholly- or majority-owned subsidiaries, and other affiliates, if any, do not boycott Israel and will not boycott Israel during the term of this Agreement. As used in the foregoing verification, “boycott Israel” has the meaning provided in Section 2271.001, Government Code.
 - (c) No Discrimination Against Firearm Entities. The Developer hereby verifies that it and its parent company, wholly- or majority-owned subsidiaries, and other affiliates, if any, do not have a practice, policy, guidance, or directive that discriminates against a firearm entity or firearm trade association and will not discriminate against a firearm entity or firearm trade association during the term of this Agreement. As used in the foregoing verification, “discriminate against a firearm entity or firearm trade association” has the meaning provided in Section 2274.001(3), Government Code.
 - (d) No Boycott of Energy Companies. The Developer hereby verifies that it and its parent company, wholly- or majority-owned subsidiaries, and other affiliates, if any, do not boycott energy companies and will not boycott energy companies during the term of this Agreement. As used in the foregoing verification, “boycott energy companies” has the meaning provided in Section 2276.001(1), Government Code.
2. HB 1295 Compliance. Section 2252.908 of the Texas Government Code requires that for certain types of contracts, you must fill out a conflict-of-interest form (“Disclosure of Interested Parties”) at the time you submit your signed contract to the District. For further information please go to the Texas Ethics Commission website via the following link.

https://www.ethics.state.tx.us/whatsnew/elf_info_form1295.html. The City has no obligation under this Agreement until such form is accurately completed and properly submitted, and any City obligation is conditioned on such proper completion and submission. For informational purposes only, an example Form 1295 is attached hereto.

3. Undocumented Workers. The Developer certifies that it does not and will not knowingly employ an undocumented worker in accordance with Chapter 2264 of the Texas Government Code, as amended. If during the term of this Agreement, the Developer is convicted of a violation under 8 U.S.C. § 1324a(f), the Developer shall repay the amount of the public subsidy provided under this Agreement as required by law. Pursuant to Section 2264.101, Texas Government Code, a business is not liable for a violation of Chapter 2264 by a subsidiary, affiliate, or franchisee of the business, or by a person with whom the business contracts.

CERTIFICATE OF INTERESTED PARTIES		FORM 1295	
Complete Nos. 1 - 4 and 6 if there are interested parties. Complete Nos. 1, 2, 3, 5, and 6 if there are no interested parties.		OFFICE USE ONLY	
1 Name of business entity filing form, and the city, state and country of the business entity's place of business.		Must file online at www.ethics.state.tx.us/File	
2 Name of governmental entity or state agency that is a party to the contract for which the form is being filed.			
3 Provide the identification number used by the governmental entity or state agency to track or identify the contract, and provide a description of the services, goods, or other property to be provided under the contract.			
4		Nature of Interest (check applicable)	
Name of Interested Party	City, State, Country (place of business)	Controlling	Intermediary
5 Check only if there is <input type="checkbox"/> Interested Party.			
6 UNSWORN DECLARATION My name is _____ and my date of birth is _____ My address _____ (street) _____ (city) _____ (state) _____ (zip code) _____ (country) I do so under penalty of perjury that the foregoing is true and correct. Executed in _____ County, State of _____ on the _____ day of _____ 20____ _____ Signature of authorized agent of contracting business entity (Required)			
ADD ADDITIONAL PAGES AS NECESSARY			

Form provided by Texas Ethics Commission

www.ethics.state.tx.us

Revised 10/20/2017

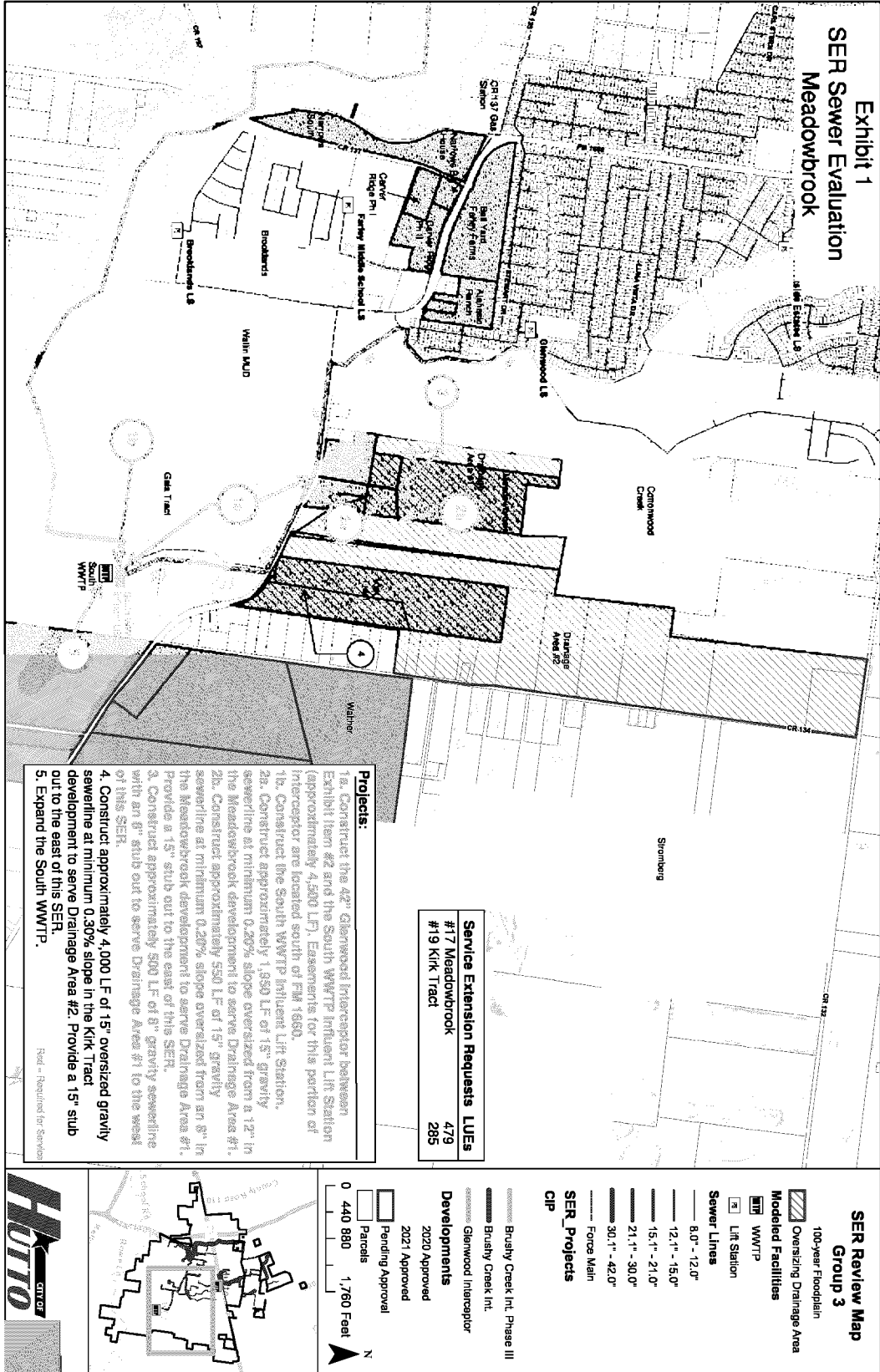
RECORDERS MEMORANDUM

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Exhibit H

Wastewater Facilities

[See attached.]



RECORDERS MEMORANDUM

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EXHIBIT H: WASTEWATER FACILITIES

SUBMITTAL DATE: 05/17/2024

Exhibit I

Intentionally Omitted

[See attached.]

Exhibit J

Engineering Report

[See attached.]

**ENGINEERING REPORT
FOR
MEADOWBROOK
PUBLIC IMPROVEMENT DISTRICT
CITY OF HUTTO**

Prepared for:

John C Landwehr
MB Hutto, LLC
1999 Bryan Street
Suite 900
Dallas, Texas

Prepared by:

LJA Engineering, Inc.
TBPE Firm No. F-1386
2700 La Frontera Blvd, Ste 150
Round Rock, Texas 78681
(512) 767-7300



May 2024

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Water and Wastewater Improvements	2
Drainage Improvements	2
Park Improvements	2
MAINTENANCE	3
FUNDING SOURCES	3
DEVELOPMENT SCHEDULE	3

Appendix A – Site Location Map

Appendix B – Legal Description

Appendix C – Transportation Exhibit

Appendix D – Approved SER

Appendix E – Parks & Open Spaces Exhibit

Appendix F – Construction Schedule

Appendix G – Engineer’s Opinion of Probable Cost

INTRODUCTION

The Meadowbrook development consists of approximately 87.83 acres located at 10501 FM 1660 where FM 1660 crosses Cottonwood Creek within the City of Hutto 2-mile Extra Territorial Jurisdiction (ETJ) in Williamson County, Texas. Attached as Appendix A, you will find a site location map and Legal Description in Appendix B. There will be 2 phases including single-family lots, fee simple single family townhome lots, and various other lots.

There are 11.1 acres at the south end of the subdivision are located within the 100-year floodplain as defined on the FEMA Panel No. 48491C0520F effective date December 20, 2019; however, all developed areas are located outside of the mapped 100-year floodplain.

PUBLIC IMPROVEMENT DISTRICT (PID)

There are two Improvement Areas. Improvement Area 1 (IA1) consists of Phase 1 internal and off-site improvements. Improvement Area 2 (IA2) consists of Phase 2 internal improvements. All phases will include street, drainage, water, and wastewater improvements.

ZONING

The Meadowbrook development is currently in the ETJ. The site is proposed to be annexed into the city limits within a planned unit development (PUD) called the Meadow Brook PUD Ordinance No. TBD.

DEVELOPMENT IMPROVEMENTS

Street Improvements

External road improvements will include improvements to FM 1660, involving the addition of a right turn deceleration lane, a left turn lane, and subsequent widening of the bridge across Cottonwood Creek.

Primary access to the internal improvements will be provided via a Residential Collector from FM 1660 through the site and ending near the northeast corner of the property. Local streets, alleys, and trails will also be utilized in this development. See Appendix C for the Transportation Exhibit.

Proposed streets and alleys have been designed to urban standards consisting of concrete curb and gutter and will be designed with a flexible pavement section consisting of prepared subgrade, crushed limestone

base, and hot mix asphaltic concrete (HMAC) pavement surface. Depending upon the geotechnical investigation, streets may be paved with a rigid concrete paving section.

The proposed street network meets City of Hutto horizontal and vertical geometric design criteria.

Water and Wastewater Improvements

Water service will be provided via connections to a proposed 16-inch water line along FM 1660. It is required that a 12-inch line be extended to connect to the planned internal 12-inch water line at the entrance of the development. The City will require oversizing of the line along FM 1660 to a 16-inch water line, and the 12-inch water line running through the development will be oversized to a 24-inch water line. See Appendix D for a copy of approved SER. For Figure 1 of the SER (Appendix D), the City offers reimbursement for the required oversizing of the waterline.

Internal wastewater utilities will include a 15" gravity sewerline oversized from a 12", a 15" gravity sewerline oversized from a 8" with stub out for future development, and a 8" gravity sewerline with an 8" stub out for future development. Wastewater flow from the development is proposed to be routed by gravity to the 42" Glenwood interceptor along FM 1660 to connect to the proposed lift station at the City of Hutto Wastewater Treatment plant located across FM 1660 to the east of this project area. See Appendix D for a copy of approved SER. Per Exhibit 1 of the SER (Appendix D), the City offers reimbursement for the required oversizing of the wastewater lines.

Drainage Improvements

Stormwater runoff generated within the development will be conveyed by a system of curb and gutters, inlets, and storm drains before being released into Cottonwood Creek. The current drainage study indicates that detention should not be required for this site as there is no adverse impact downstream if the stormwater is released directly into Cottonwood Creek.

Park Improvements

See Appendix E for Parks and Open Spaces shown on the PUD's Illustrative Plan.

MAINTENANCE

It is anticipated the entry road landscaping for the single-family and multi-family sections will be maintained by the Homeowners Association(s).

FUNDING SOURCES

There is oversized improvement cost sharing from the City for both water and wastewater improvements. To provide water service to Meadowbrook, it is required that a 12-inch line be extended from the existing 16-inch line to connect to the planned 12-inch water line at the entrance of the development. The City is requiring both 12-inch water lines to be oversized to provide adequate transmission capacity to facilitate other growth in the region. The line along FM 1660 will be oversized to a 16-inch water line, and the 12-inch water line running through the development will be oversized to a 24-inch water line. The City will reimburse the cost difference for oversizing these lines. The City will also cost participate to oversize the wastewater infrastructure required to serve the Meadowbrook development including oversizing both the 12-inch and 8-inch gravity sewerlines to 15-inch gravity sewerline. An opinion of probable costs is included as Appendix G to estimate the total development cost to be funded by this PID.

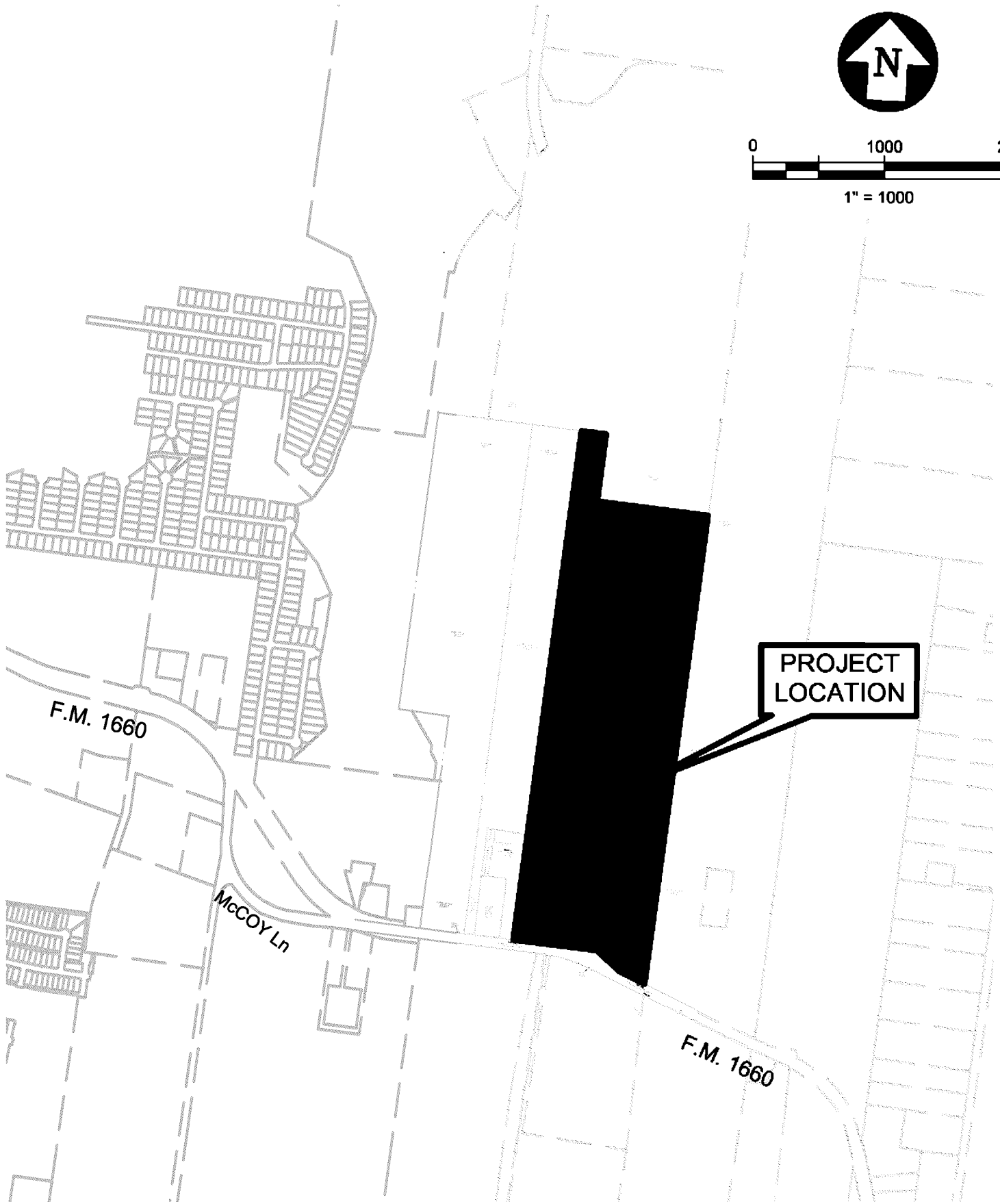
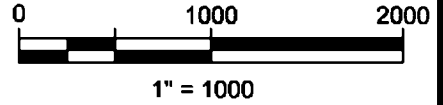
DEVELOPMENT SCHEDULE

It is assumed that Phase 1 will be constructed first. This will include the Major Improvements: Water, Wastewater, Entrance Road, South Park, Parking, Trail, and signage. Followed by Phase 2 and corresponding improvements. See construction schedule shown in Appendix F.

Assuming Construction plans for Phase 1 are approved in June 2025, construction would be complete in March of 2026. Certificate of Occupancy's would be issued starting in April of 2026 and would take until April of 2028 to complete Phase 1.

Assuming Phase 2 to follow soon thereafter, the construction plans for Phase 2 would be complete in October of 2026 and construction would be complete in June of 2027. Certificate of Occupancy's would be issued starting in July of 2027 and would take until July 2029 to complete the Phase 2 improvements.

Appendix A – Site Location Map



**PROJECT
LOCATION**

F.M. 1660

McCoy Ln

F.M. 1660

LJA Engineering, Inc.



2700 La Frontera Blvd
Suite 150
Round Rock, TX 78681

Phone 512.439.4700
Fax 512.439.4716
FRN - F-1386

RECORDERS MEMORANDUM

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LOCATION MAP

11/17/2021

Appendix B – Legal Description

EARLY LAND SURVEYING, LLC

P.O. Box 92588, Austin, TX 78709

512-202-8631

earlysurveying.com

TBPELS Firm No. 10194487

87.834 ACRES WILLIAMSON COUNTY, TEXAS

A DESCRIPTION OF 87.834 ACRES (APPROXIMATELY 3,826,046 SQ. FT.) IN THE JAMES HICKMAN SURVEY, ABSTRACT NO. 291 IN WILLIAMSON COUNTY, TEXAS, BEING ALL OF A 4.23 ACRE TRACT (TRACT 1), ALL OF A 45.77 ACRE TRACT (TRACT 2), ALL OF A 34.17 ACRE TRACT (TRACT 3) AND ALL OF A 3.735 ACRE TRACT (TRACT 4) CONVEYED TO SWINDOLL INVESTMENTS, LP IN A SPECIAL WARRANTY DEED EXECUTED DECEMBER 15, 2008 AND RECORDED IN DOCUMENT NO. 2008093458 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; SAID 87.834 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 1/2" rebar found in the north right-of-way line of F.M. 1660 (right-of-way width varies) as shown on TXDOT right-of-way map Control No. 1556 – Section No. 2 – Job No. 1, being the southwest corner of the said Swindoll Investments 34.17 acre tract, being the southeast corner of the said 3.735 acre tract;

THENCE North 82°47'48" West with the north right-of-way line of F.M. 1660 and the south line of the said 3.735 acre tract, a distance of 112.14 feet to a calculated point for a southwest corner of the said 3.735 acre tract, being the southeast corner of a 1.99 acre tract described in Document No. 2015076155 of the Official Public Records of Williamson County, Texas, from which a 1/2" rebar found, bears South 07°09'25" West, a distance of 0.66 feet and a concrete highway monument found in the north right-of-way line of F.M. 1660 at highway station 142+86.6, 40' left, bears North 82°47'48" West, a distance of 312.64 feet;

THENCE with the common line of the said 3.735 acre tract and the said 1.99 acre tract, the following two (2) courses and distances:

1. North 07°09'25" East, a distance of 455.34 feet to a 1/2" rebar with "Early Boundary" cap set for the northeast corner of the said 1.99 acre tract;
2. North 82°39'10" West, a distance of 192.08 feet to a 1/2" rebar with "Early Boundary" cap set for the northwest corner of the said 1.99 acre tract;

Page 2

THENCE with the perimeter of the said 3.735 acre tract, the following two (2) courses and distances:

1. North 07°13'30" East, a distance of 363.22 feet to a 1/2" rebar with "Early Boundary" cap set for the northwest corner of the said 3.735 acre tract;
2. South 80°05'23" East, a distance of 310.92 feet to a 1/2" rebar with "Early Boundary" cap set for the northeast corner of the said 3.735 acre tract, being in the west line of the said Swindoll Investments 34.17 acre tract, being in the east line of a 34.17 acre tract conveyed to Claudia Ann Crislip in Document No. 2018083501 of the Official Public Records of Williamson County, Texas;

THENCE North 07°38'21" East with west line of the said Swindoll Investments 34.17 acre tract and the east line of the said Crislip 34.17 acre tract, a distance of 3102.82 feet to a 1/2" rebar with "Early Boundary" cap set for the northwest corner of the said Swindoll Investments 34.17 acre tract and the northeast corner of the said Crislip 34.17 acre tract, being also in the south line of a 367.15 acre tract described in Document No. 2003097298 of the Official Public Records of Williamson County, Texas, from which a 5/8" rebar found for an angle point in the south line of the said 367.15 acre tract, being the northwest corner of a 50.00 acre tract described in Document No. 2018083501 of the Official Public Records of Williamson County, Texas, bears North 82°43'53" West, a distance of 1098.11 feet and an additional 1/2" rebar found, bears South 89°07'36" East, a distance of 4.99 feet;

THENCE with the common line of the said Swindoll Investments 34.17 acre tract, the said 45.77 acre tract and the said 367.15 acre tract, the following three (3) courses and distances:

1. South 82°43'53" East, a distance of 190.02 feet to a 5/8" rebar found;
2. South 07°39'24" West, a distance of 516.71 feet to a 5/8" rebar found;
3. South 82°47'33" East, a distance of 849.03 feet to a 1/2" rebar found for the northeast corner of the said 45.77 acre tract, being in the west line of a 143.5 acre tract described in Document No. 2010007498 of the Official Public Records of Williamson County, Texas;

THENCE South 07°41'20" West with the east line of the said 45.77 acre tract and the west line of the said 143.5 acre tract, a distance of 2631.49 feet to a calculated point for a southeast corner of the said 45.77 acre tract, being the northeast corner of the said 4.23 acre tract, from which a 5/8" rebar found for the northwest corner of the said 4.23 acre tract, being an angle point in the south line of the said 45.77 acre tract, bears North 82°16'16" West, a distance of 216.00 feet;

Page 3

THENCE South 07°41'20" West with the east line of the said 4.23 acre tract and the west line of the said 143.5 acre tract, a distance of 968.04 feet to a calculated point north right-of-way line of F.M. 1660, being the southeast corner of the said 4.23 acre tract, being also the southwest corner of the said 143.5 acre tract, from which a mag nail with washer set for reference in the centerline of a concrete ditch, bears South 07°41'20" West, a distance of 8.31 feet;

THENCE with the north right-of-way line of F.M. 1660, the south line of the said 4.23 acre tract and the south line of the said 45.77 acre tract, the following three (3) courses and distances:

1. North 63°38'49" West, a distance of 211.52 feet to a calculated point in a creek;
2. North 47°09'31" West, a distance of 240.10 feet to a concrete highway monument found, from which a concrete highway monument found in the south right-of-way line of F.M. 1660 at highway station 153+28.2, 40' right, bears South 23°57'59" West, a distance of 148.27 feet;
3. North 82°47'48" West, a distance of 231.38 feet to a calculated point, from which a 1/2" rebar found, bears North 07°41'20" East, a distance of 0.19 feet;

THENCE with the north right-of-way line of F.M. 1660 and the south line of the said Swindoll Investments 34.17 acre tract, the following two (2) courses and distances:

1. North 82°47'48" West, a distance of 174.52 feet to a concrete highway monument found at highway station 149+44.5, 40' left;
2. North 82°47'48" West, a distance of 233.33 feet to the **POINT OF BEGINNING**, containing an area of 87.834 acres, more or less.

Surveyed on the ground on December 15, 2020

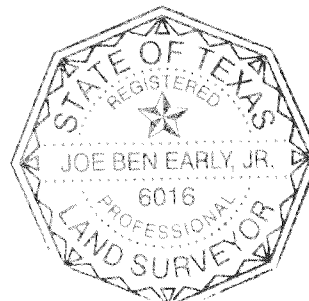
Bearing Basis: The Texas Coordinate System of 1983 (NAD83), Central Zone, utilizing the SmartNet North America Network.

Attachments: Survey Drawing No. 1093-001-BASE

12/21/2020

Joe Ben Early, Jr.
Registered Professional Land Surveyor
State of Texas No. 6016

Date



Appendix C – Transportation Exhibit

4. Street Type Standards

RESIDENTIAL COLLECTOR

The Residential collector serves as the spine of the neighborhood and connects residences from the existing FM1660 to the planned future ROW.

RESIDENTIAL STREET

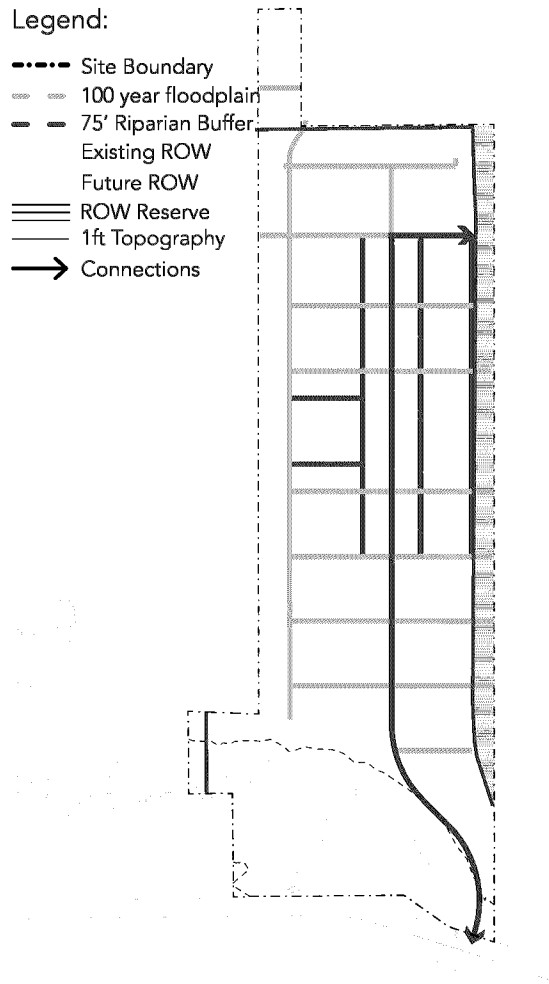
These streets are intended to provide access to the lots and operate at lower speeds, providing access to the collector street. Residential streets include room for parallel parking on one side of the street.

ALLEY

Alleys are pathways that provide rear access to parking garages and service areas. They are designed for vehicular access and waste collection while offering a less congested and quieter environment compared to other streets.

Legend:

- Site Boundary
- 100 year floodplain
- - - 75' Riparian Buffer
- Existing ROW
- Future ROW
- ==== ROW Reserve
- ==== 1ft Topography
- Connections



General Guidelines:

The precise alignment of the streets and alleys included in the Plan may be varied with City Development Services Staff approval.

Driveways may be reviewed and approved by the City of Hutto Development Services Staff at the time of site plan per the UDC 2020.

Driveway access to single family or two family dwelling units is permitted along the residential collector when spaced at least 50 feet apart measured from center to center.

Sidewalks will be provided internally for pedestrian circulation from the parking areas to the individual units. Final configurations and alignments will be defined during the site plan development application process.

RESIDENTIAL COLLECTOR

The Residential collector serves as the spine of the neighborhood and connects residences to the rest of the transportation system of the City.

Street Standards		
A	Right-of-Way Width	70'
B	Travel Lanes	22' total
C	Parking Lanes	8' wide on street parking
D	Tree Zone	Trees 30' on Center, 4" Caliper
E	Sidewalk Zone	8' Trail on one side and 5' sidewalk on the opposite
	Tree Species permitted	Monterrey Oak, Bald Cypress, Red Oak, Red Maple



RECORDERS MEMORANDUM

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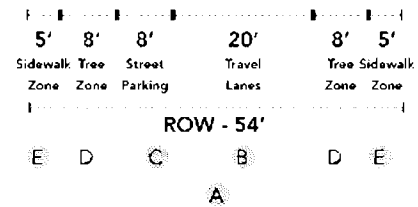
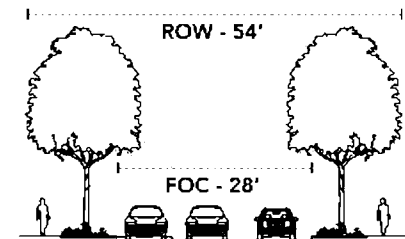
RESIDENTIAL STREET

These streets are intended to provide access to the lots and operate at lower speeds, providing access to the collector street.

Street Standards

A	Right-of-Way Width	54'
B	Travel Lanes	20' total
C	Parking Lanes	8' wide
D	Tree Zone	Trees 30' on Center, 4" Caliper
E	Sidewalk Zone	5' clear walking zone
	Tree Species permitted	Monterrey Oak, Bald Cypress, Red Oak, Red Maple

Note: Where open space is adjacent to the residential street the tree zone may be expanded and the sidewalk replaced with an 8' walking trail.



RECORDERS MEMORANDUM

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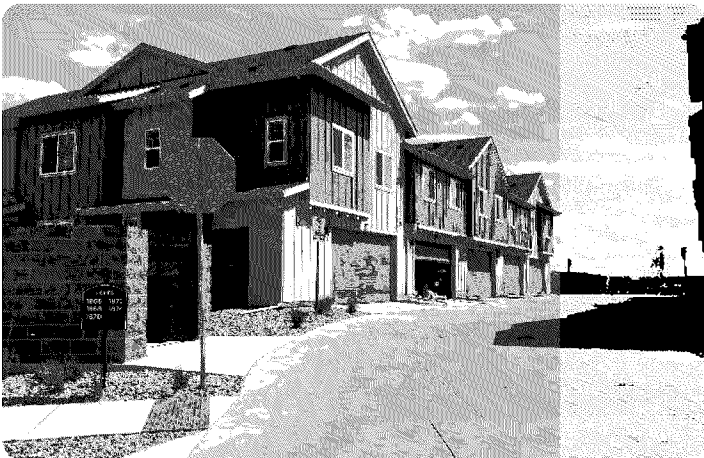
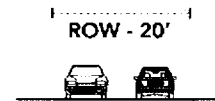
ALLEY

Alleys are pathways that provide rear access to parking garages and service areas. They are designed for vehicular access and waste collection while offering a less congested and quieter environment compared to other streets. Surface parking is not encouraged or permitted in alleys.

Street Standards

A	Right-of-Way Width	20'
B	Travel Lanes	20' total

Note: If the Alley needs to be used for fire access, the ROW will be 25'



RECORDERS MEMORANDUM

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Appendix D – Approved SER



Mayor
Mike Snyder

Mayor Pro Tem
Dan Thornton

Council Members
Robin Sutton, Place 1
Dan Thornton, Place 2
Randal Clark, Place 3
Peter Gordon, Place 4
Krystal Kinsey, Place 5
Amberley Kolar, Place 6

City Manager
James R Earp, CPM

April 25, 2023
Mr. Walter Hoysa
2700 La Frontera Blvd. #150
Round Rock, Texas 78681

RE: Meadowbrook
Service Extension Request – Water and Wastewater Utilities

Dear Mr. Hoysa,

Thank you for your interest in developing in the City of Hutto. We have reviewed your Service Extension Request for water and wastewater utility service.

In order for the City of Hutto to provide water and wastewater service to your proposed development, the requirements listed in the attached SER responses must be addressed.

We appreciate your patience as we are working to address the needs of your development while planning for future growth. Please feel free to contact me at (512) 759-4025 or email Matt.Rector@HuttoTX.gov with any questions.

Sincerely,

Matt Rector
City Engineer

APPROVED

Attachments:
Water and Wastewater SER Response
SER Application

TECHNICAL MEMORANDUM



Innovative approaches
Practical results
Outstanding service

www.freese.com

10431 Morado Circle, Suite 300 + Austin, Texas 78759 + 512-617-3100 + FAX 817-735-7491

TO: Matt Rector, P.E., City of Hutto

FROM: Stephanie Neises, P.E., Freese and Nichols, Inc.
Dave Christiansen, P.E., Freese and Nichols, Inc.

SUBJECT: Service Extension Request Review – Meadowbrook

DATE: April 20, 2023

1.0 INTRODUCTION

The City of Hutto (City) tasked Freese and Nichols, Inc. (FNI) with reviewing the Meadowbrook Water Service Extension Request (SER). The purpose of the review is to verify water demand calculations and identify system improvements needed to extend water service to the proposed development. The following sections document FNI's review of the Meadowbrook SER and related information.

2.0 WATER DEMANDS

Table 1 provides a summary of the living unit equivalents (LUEs) and associated water demands for the Meadowbrook based on the City's Utility Criteria Manual for Water & Wastewater Design Standards.

Table 1: Water Demands

Living Unit Equivalents	479
Estimated Population (3.5 people/LUE)	1,677
Average Day Water Demand (200 gallons/person/day)	233 gpm
Maximum Day Water Demand (530 gallons/person/day)	617 gpm
Peak Hour Water Demand (900 gallons/person/day)	1,048 gpm
Fire Flow	1,500 gpm

3.0 SYSTEM IMPROVEMENTS

To provide water service to the Meadowbrook, it is required that a 12-inch line be extended along FM 1660 from the existing 16-inch water line along FM 1660 to connect to the planned 12-inch water line at entrance of the development as shown on **Figure 1**. The City may upsize both 12-inch water lines to provide adequate transmission capacity to facilitate other growth in the region. The line along FM 1660 may be upsized to a 16-inch water line, and the 12-inch water line running through the development may be upsized to a 24-inch water line. Although the development is planned to be constructed in three phases (as shown on the map included in **Appendix A**), the City may require the developer to construct the entirety of the 24-inch water line as part of Phase 1 to connect with other system improvements planned in the area. With the proposed water lines in service, this development will have access to 1,500 gpm of available fireflow and will experience static pressure ranging from 81 to 86 pounds per square inch (psi). Per the City's Utility Criteria Manual, any service connections with a static pressure above 80 psi will require individual pressure reducing valves on the owner's side of the water meter.

Currently, the City's water system does not have adequate capacity to serve new customers beyond those developments that have already been approved for water service by the City. The City and FNI have completed an expedited Water Master Plan Update, which included the development of a CIP, shown on **Figure 2**, that provides the City with a list of improvement projects to provide adequate capacity for future development including the Meadowbrook development. The following CIP projects (to be completed by the City) have been identified as necessary to serve this development:

- Secure additional short-term water supply – ongoing
- Project 3 – Frame Switch Pump Station Expansion – Estimated completion date of June 2024
- Project 1 – Frame Switch Discharge Water Lines – Estimated completion date of June 2024
- Project 5 – County Road 132 South Water Line – Estimated completion date of Summer 2025
- Project 7 – Cottonwood Elevated Storage Tank – Estimated completion date of Summer 2025

Based on the estimated timing of these projects and the development schedule provided (attached in **Appendix A**), the system will have adequate capacity for the Meadowbrook development to begin construction in Q1 2024.



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FIGURE 2
CITY OF HUTTO
WATER SYSTEM
CAPITAL IMPROVEMENT PLAN

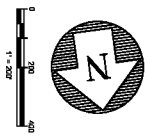
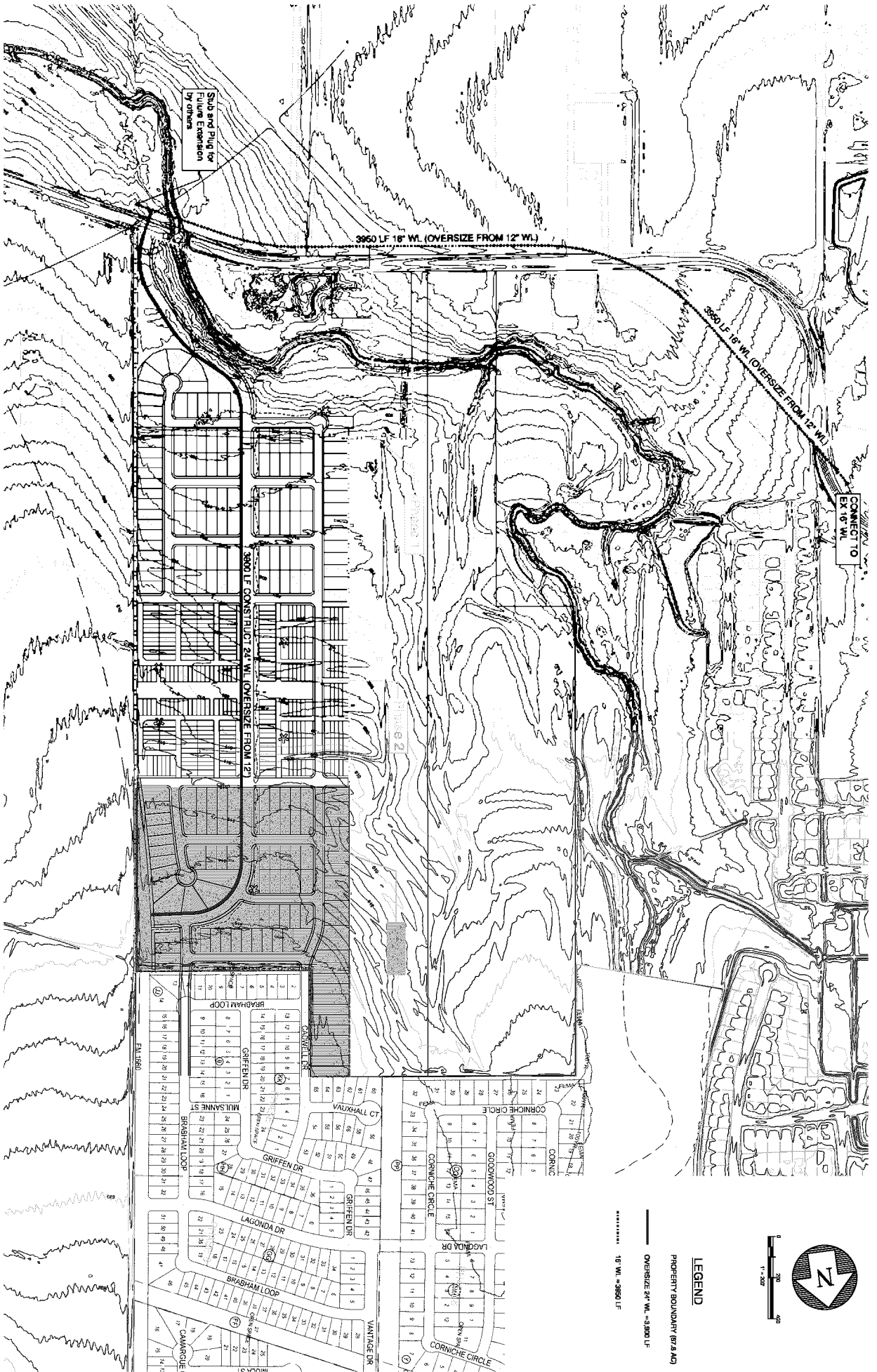
LEGEND

Road	Water Line Under Design/Construction
Railroad	Water Line 2027 Planned Improvements
Lake	Water Line 2027 Planned Improvements
Stream	Water Line 2027 Planned Improvements
Parcel	Water Line 2027 Planned Improvements
City Limits	Water Line 2027 Planned Improvements
County	Water Line 2027 Planned Improvements
Existing System Pump Station	Water Line 2027 Planned Improvements
Existing System Elevated Storage Tank	Water Line 2027 Planned Improvements
Existing System Ground Storage Tank	Water Line 2027 Planned Improvements
Existing System Valve (to be closed)	Water Line 2027 Planned Improvements
Existing System 8" and Smaller Water Line	Water Line 2027 Planned Improvements
Existing System 10" and Larger Water Line	Water Line 2027 Planned Improvements
Existing System Supply Line	Water Line 2027 Planned Improvements
Future System 800 Pressure Plane	Water Line 2027 Planned Improvements
Future System 890 Pressure Plane	Water Line 2027 Planned Improvements

HUTTO CITY OF
FRESSE & NICHOLS

APPENDIX A
PROVIDED DEVELOPMENT PHASING & SCHEDULE

LA Performance, Inc. 10000 15th St, Suite 100, San Diego, CA 92128, Tel: 619.451.1100, Fax: 619.451.1101



LEGEND

PROPERTY BOUNDARY (67.5 AC)
OVERSIZE 54" WL - 3300 LF
18" WL - 3850 LF

RECORDERS MEMORANDUM
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MEADOWBROOK
WATERLINE SER
IMPROVEMENT
10/17/2022

Meadow Brook 2-13-2023
Build Out / Closing Schedule Total Units

		Starts															
		Year 1				Year 2				Year 3				Year 4			
		Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4
North	50'	78	16	16	16	16	16										
	60'	14	4	4	4	4	4										
Central	TH	279			40	40	40	40	40	40	40	40	40	40	40		
	50'	92			18	18	18	18	18	18	18	18	18	18	18		
South	60'	16			4	4	4	4	4	4	4	4	4	4	4		
		479	19.1	19.1	59.0	59.0	77.9	62.3	62.3	62.3	62.3	62.3	62.3	58.3	0	0	0

Meadow Brook Total Units

		CO's (Certificate of Occupancy)															
		Year 1				Year 2				Year 3				Year 4			
		Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4
North	50'	78				16	16										
	60'	14.5				2	4										
Central	TH	279				40	40	40	40	40	40	40	40	40	40	18	18
	50'	92				18	18	18	18	18	18	18	18	18	18	2	2
South	60'	16				17.6	19.1			59.0	59.0	57.5	60.3	62.3	62.3	62.3	20.4
		479	0.0	0.0	0.0	17.6	19.1	59.0	59.0	57.5	60.3	62.3	62.3	62.3	20.4	0.0	0.0



3755 S. Capital of Texas Highway
 Suite 325
 Austin, TX 78704
 TEL 512.485.0009
 FAX 512.485.0010
 www.GarverUSA.com

SER #17 Meadowbrook SER Sewer Evaluation

January 27th, 2023

City of Hutto
 500 W Live Oak St.
 Hutto, TX 78634

1.0 Introduction / Summary

The purpose of this memorandum is to document preliminary analyses completed to size wastewater infrastructure to serve the Meadowbrook development within the City of Hutto's wastewater certificate of convenience and necessity (CCN). This development is reviewed in conjunction with the Kirk Tract development in the same service area to ensure that proposed infrastructure can meet the needs of all developments in the area. Refer to Exhibit 1 for a map depicting the service area.

2.0 Sanitary Sewer Loading Calculations

Per the Service Extension Request (SER) submitted by the developer, the Meadowbrook development will have 494 single-family (SF) units as shown in Table 2-1. Land Use Equivalent assumptions are listed in Table 2-1 and anticipated loadings for the development areas are included in Table 2-2. Average flow was calculated using 280 gpd/LUE, and average peak wet weather flow was calculated as outlined in the City of Hutto Utility Design Criteria Manual.

Table 2-1: Meadowbrook Sewer Loading Assumptions

Development Type	LUE Equivalent	Proposed Development	LUE Subtotal
Single Family Residential	1 LUE/unit	479 units	479
Multi-Family Residential (6-24 units per acre)	0.8 LUE/unit		
Office Space	3,000 sf/LUE		
Retail Space	1,660 sf/LUE		
Restaurant	200 sf/LUE		
Total LUEs			479

Table 2-2: Sewer Loading Calculations for Development Areas

Development	No. LUEs	Area (Acres)	Average Load (MGD)	Peak Load (MGD)
Meadowbrook	479	87.8	0.13	0.55
Kirk Tract	285	84.4	0.08	0.37
Total			0.21	0.92

Service Extension Request Sewer Evaluation

3.0 Routing Options

The Meadowbrook development is located north of FM 1660 and west of CR 134. Wastewater flow from the development is proposed to be routed by gravity to future 42" Glenwood interceptor along FM 1660. The Glenwood interceptor will drain to the South WWTP. This interceptor needs to be constructed soon as it is also required to serve two other SERs currently under review by the City: the Bell Yard Farley Farm and the Atanasio Ranch. See Exhibit 1 for a map of the proposed route.

Table 3-1 outlines the short and long-term projects proposed to provide wastewater service to the Meadowbrook development. The developer is responsible for completing funding, design, and construction of projects as noted in Table 3-1. The routes and diameters included in Table 3-1 and Exhibit 1 are conceptual. When responsible for design and construction, the developer will be required to submit a preliminary route evaluation and line sizing analysis to the City in the form a technical memorandum for City review and concurrence. Upon approval from the City, the developer can proceed with final design plans showing sizing calculations and final proposed routing which are subject to the City's plan review process. Upon completion and acceptance of the developer responsible projects, the City will provide wastewater service to the development.

Table 3-1: Required Upgrades to Serve the Meadowbrook

Timeframe	Exhibit Item #	Project Description	Project Responsibility - Design & Construction	Project Responsibility - Funding
Short-term	1a	Construct the 42" Glenwood Interceptor between Exhibit Item #2 and the South WWTP Influent Lift Station (approximately 4,500 LF). Easements for this portion of interceptor are located south of FM 1660.	City	City
Short-term	1b	Construct the South WWTP Influent Lift Station.	City	City
Short-term	2a	Construct approximately 1,950 LF of 15" gravity sewerline at minimum 0.20% slope oversized from a 12" in the Meadowbrook development to serve Drainage Area #1.	Developer ***	Developer * and City **
Short-term	2b	Construct approximately 550 LF of 15" gravity sewerline at minimum 0.20% slope oversized from an 8" in the Meadowbrook development to serve Drainage Area #1. Provide a 15" stub out to the east of this SER.	Developer ***	Developer * and City **
Short-term	3	Construct approximately 500 LF of 8" gravity sewerline with an 8" stub out to serve Drainage Area #1 to the west of this SER.	Developer ***	Developer
Long-term	5	Expand the South WWTP	City	City

* The developer may share the cost of this project with other developments in the area.

** The City will cost participate to oversize this infrastructure.

*** The developer is responsible for checking that pipe elevations are adequate to accommodate flows from future drainage areas discussed in the corresponding project descriptions.

Service Extension Request Sewer Evaluation

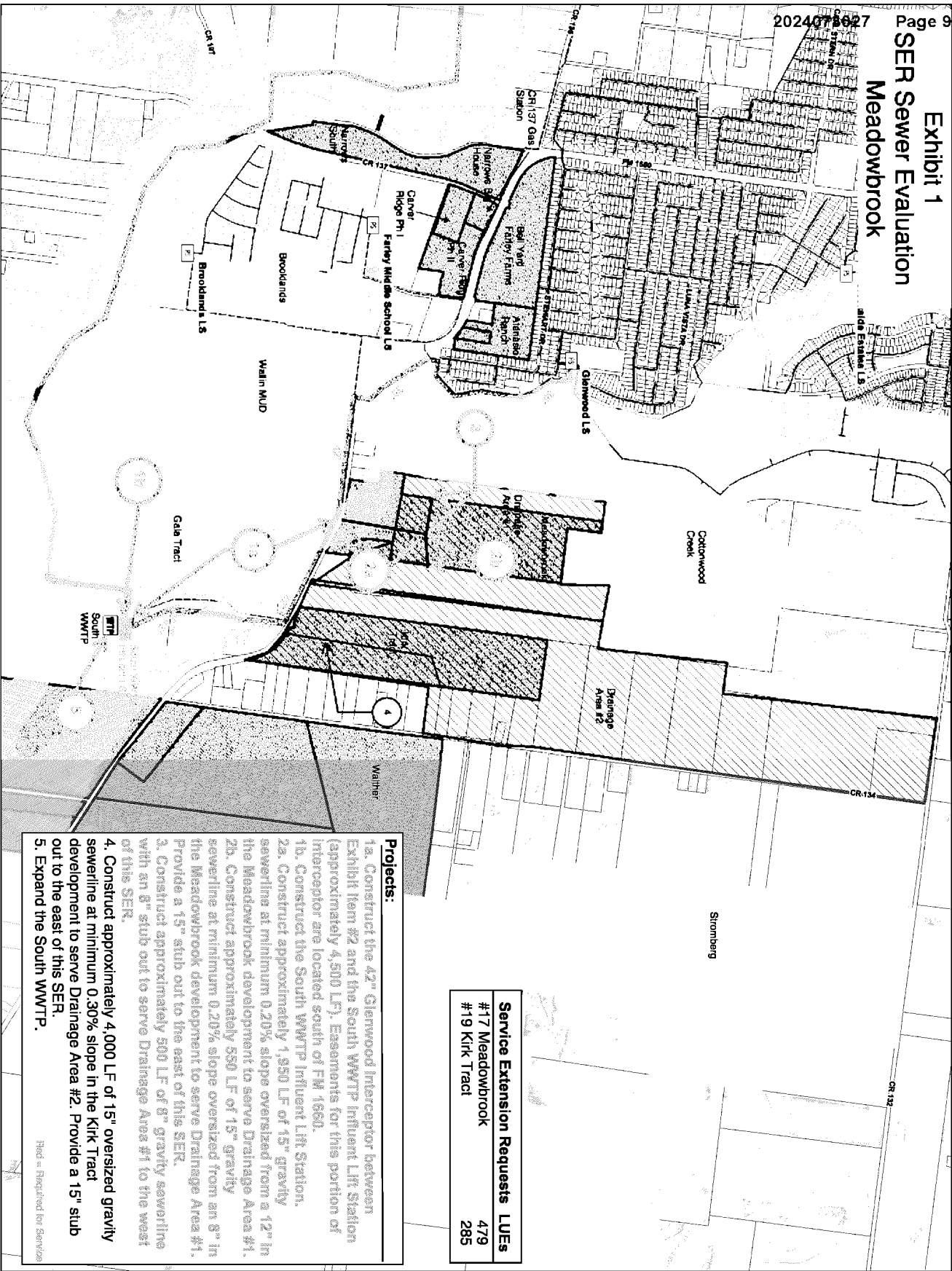
4.0 Gravity Sewer Infrastructure SizingExhibit Item #2a:

The City recognizes that the Meadowbrook development would require only a 12" gravity sewerline. However, this line should be oversized to a 15" line at 0.20% minimum slope to serve future developments in its vicinity. A 15" at 0.20% slope would provide a design capacity of 1.6 MGD, which is adequate to serve this SER and the remainder of the currently undeveloped Drainage Area #1 (see Exhibit 1) at a density of 5 LUEs/acre. This density is typically observed for recent SERs in this area (e.g., Kirk Tract, Walther Farmers Tract). Since the City is requesting to oversize this gravity sewerline from a 12" to a 15", it will reimburse the developer for the cost difference to upsize the 12" line to a 15".

Exhibit Item #2b:

Similar to Exhibit Item #2a, the City recognizes that the northeastern portion of the Meadowbrook development would require only an 8" gravity sewerline but requests an oversized 15" line at minimum 0.20% slope to serve Drainage Area #1. Since the City is requesting to oversize this gravity sewerline from an 8" to a 15", it will reimburse the developer for the cost difference to upsize the 8" line to a 15".

Exhibit 1 SER Sewer Evaluation Meadowbrook



- Projects:**
- Construct the 42" Glenwood Interceptor between Exhibit Item #2 and the South WWTP Inflow Lift Station (approximately 4,500 LF). Easements for this portion of Interceptor are located south of FM 1660.
 - Construct the South WWTP Inflow Lift Station.
 - Construct approximately 1,950 LF of 15" gravity sewerline at minimum 0.20% slope oversized from a 12" in the Meadowbrook development to serve Drainage Area #1.
 - Construct approximately 550 LF of 15" gravity sewerline at minimum 0.20% slope oversized from an 8" in the Meadowbrook development to serve Drainage Area #1. Provide a 15" stub out to the east of this SER.
 - Construct approximately 500 LF of 8" gravity sewerline with an 8" stub out to serve Drainage Area #1 to the west of this SER.
 - Construct approximately 4,000 LF of 15" oversized gravity sewerline at minimum 0.30% slope in the Kirk Tract development to serve Drainage Area #2. Provide a 15" stub out to the east of this SER.
 - Expand the South WWTP.

Red = Required for Service

SER Review Map Group 3

- 100-year Floodplain
- Oversizing Drainage Area
- Modelled Facilities
 - WWTP
 - WWTP
 - Lift Station
- Sewer Lines
 - 8.0" - 12.0"
 - 12.1" - 15.0"
 - 15.1" - 21.0"
 - 21.1" - 30.0"
 - 30.1" - 42.0"
 - Force Main
- SER Projects
 - CIP
 - Brushy Creek Int. Phase III
 - Brushy Creek Int.
 - Glenwood Interceptor
- Developments
 - 2020 Approved
 - 2021 Approved
 - Pending Approval
 - Parcels

0 440 880 1,760 Feet

N

RECORDERS MEMORANDUM
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**SERVICE EXTENSION REQUEST
(SER) APPLICATION**
Must be Accompanied by a Master Application

City of Hutto Development Services
500 W. Live Oak Street
Hutto TX 78634
512-759-3479 Planning
512-759-4038 Engineering
planning@huttotx.gov

- Utility Plan (detailing the proposed water, wastewater, and/or reclaimed water infrastructure layout, existing/proposed easements, and existing topography)
- Engineering Calculations that are signed, sealed and dated by a professional engineer registered in the State of Texas.
- Summary Letter describing the proposed development.

FEES:

- o Please see the City of Hutto Fee Schedules for required fees. All required fees should be verified with planning@huttotx.gov prior to submission.
- o Third party review fee amount will be calculated and collected prior to final approval.
- o Payment may be provided by cash, check made payable to: City of Hutto, or via MyGovernmentOnline.

CONDITIONS OF APPROVAL:

- The level of service approved by this document does not imply commitment for land use.
- Service extension requests are subject to the guidelines established in the Hutto City Code of Ordinances.
- Construction of all service extensions are subject to all utility guidelines and planning ordinances.
- Service extension approvals automatically expire 180 days after the date of issuance unless a development application has been approved by the Development Services Department. Once an approved development application expires the service extension approval expires on the same date.
- If requested, the proposed improvements will be dedicated to the City of Hutto for ownership, operation, and maintenance.

FOR DEPARTMENT USE ONLY				
Submittal Date	Date Accepted for Review	Payment Type	Fees Paid	Approval Date



SUBDIVISION CONSTRUCTION PLAN MASTER APPLICATION

City of Hutto Engineering Department 500 W. Live Oak Hutto, TX 78634 (512) 759-4016 Main www.hutto.tx.gov

City Issued MPN # Office Use Only

PROJECT NAME: Meadowbrook APPLICATION TYPE: SER, Preliminary Plat

APPLICANT INFORMATION (property owner or authorized agent) This will be the City's official contact

Name: T. Walter Hoysa

Company Name: LJA Engineering, Inc.

Address: 2700 La Frontera Boulevard, Suite 150 Round Rock, TX 78681

Phone: 512-439-4700 Email: whoysa@lja.com

PROPERTY INFORMATION

Address:

Legal Description: Lot(s) Block Subdivision 87.834 Acres in the James Hickman Survey, Abs 291

Deed Reference: Volume Page(s) or Document No. 2021066633

City Limits or ETJ: ETJ Current Zoning District: N/A

PROPERTY OWNER INFORMATION

Name:

Company Name: MB Hutto LLC

Address: 5956 SHERRY LN #STE 1000 DALLAS, TX 75225

Phone: 512-638-6682 Email: jlandwehre@traylor.com

PROPERTY OWNER CONSENT/AGENT AUTHORIZATION

By my signature I hereby affirm that I am the property owner of record, or if the applicant is an organization or business entity, that authorization has been granted to represent the owner, organization or business in this application. I certify that the preceding information is complete and accurate, and it is understood that I agree to the submittal of this application. Additionally, my signature below indicates my awareness of the fee(s) required at the time of application submittal and that this fee(s) is non-refundable even in the event of application withdrawal or if reviewed and denied.

By signing this form, the owner of the property authorizes the City of Hutto to begin proceedings in accordance with the process for the type of application indicated on page one of this application. The owner further acknowledges that submittal of an application does not in any way obligate the City to approve the application and that although City staff may make certain recommendations regarding this application, the City Council may not follow that recommendation and may make a final decision that does not conform to the staff's recommendation.

[Signature] Property Owner Signature

Daniel A. Traylor Property Owner Printed Name

01/11/2022 Date

THE STATE OF INDIANA COUNTY OF VANDERBURGH

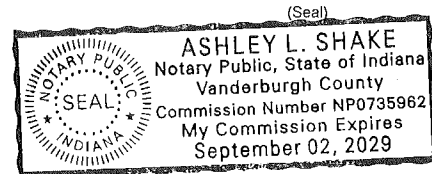
Before me, the undersigned authority, on this day personally appeared Daniel A. Traylor, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this 11th day of January, 2022 A.D.

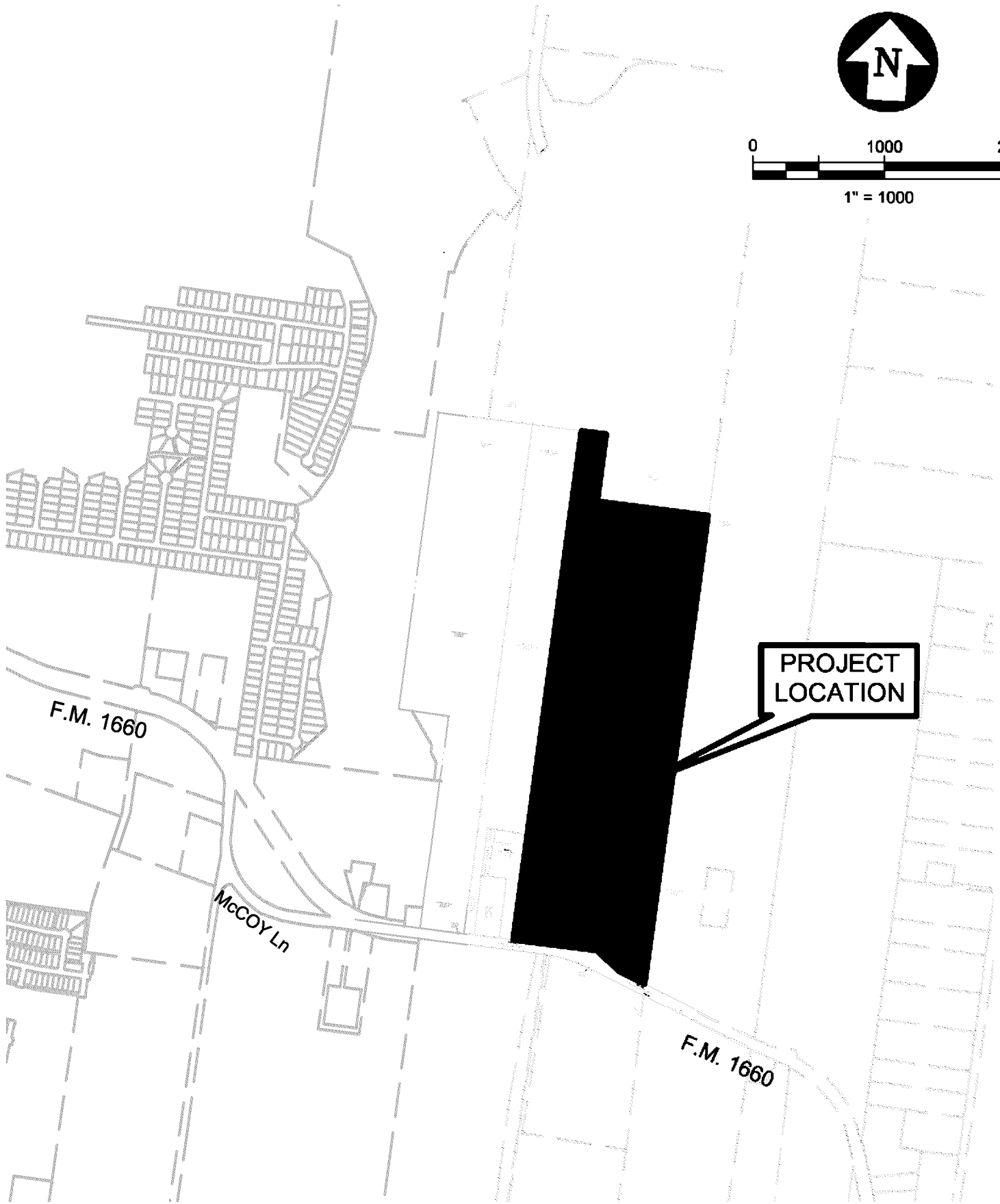
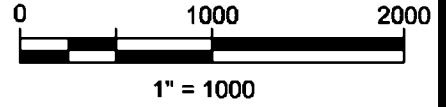
[Signature] Notary Public Signature

Ashley L. Shake Notary Public Printed Name

Commission No: 735962 Expiration Date: 09/02/2029



If there are multiple property owners attach separate page(s) with notarized signature(s)



**PROJECT
LOCATION**

F.M. 1660

McCOY Ln

F.M. 1660

LJA Engineering, Inc.



2700 La Frontera Blvd
Suite 150
Round Rock, TX 78681

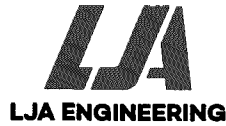
Phone 512.439.4700
Fax 512.439.4716
FRN - F-1386

RECORDERS MEMORANDUM

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LOCATION MAP

11/17/2021



2700 La Frontera Boulevard, Suite 150, Round Rock, Texas 78681
t 512.767.7300 LJA.com TBPE F-1386

January 3, 2022

Ning Zhang, PE
City of Hutto
City Engineer
500 W Live Oak Street
Hutto, Texas 78634

Re: Meadowbrook (10501 FM 1660)
Water and Wastewater Service Extension Request (SER) Engineer's Report
LJA Engineering, Inc. Project No. A615-1001.201

Dear Ning,

The Meadowbrook Tract consists of approximately 87.8 acres located at FM 1660 where it crosses Cottonwood Creek within the City of Hutto 2-mile Extra Territorial Jurisdiction (ETJ) in Williamson County, and within the Hutto Water Service Area.

Exhibit 1 and **Exhibits 2A-2G** show property location maps identifying tract boundary extents on topographic mapping and detailed utility layouts respectively. The majority of the tract is proposed to be developed as single-family units with about one-third of the tract proposed to be attached townhomes. The proposed development would generate a total of 494 LUE's per the AWU-LUE guidance document. Per the 2015 International Fire Code (IFC), Table B105.1(2), the required fire flow is 1,500 gallons per minute (gpm) at 20 psi for 2 hours, assuming no sprinkling on the townhome product. Total LUE's generated by the proposed and future uses, peak day and peak hour water demands, and the peak wet weather flow of wastewater discharge for the total LUE's are documented on the application with supporting calculations found in **Exhibit 3**. Calculations were performed using the values given in the City of Hutto Utility Design Criteria Manual as published on the City's website at the writing of this report.

Water Extension

We propose connecting to an existing Hutto waterline near the southwest corner of the tract within the FM 1660 Right of Way (ROW). A 12-inch waterline is proposed from the connection point, through the site along the collector road shown, to be stubbed for future connection near the northeast corner of the site at the proposed future intersection with the City's FM1660 relocation project. 8-inch waterlines will be extended to all local roads and townhome alleys and an 8-inch line will either be connected to or stubbed to the Lennar Cottonwood Creek development to the north of the Meadowbrook site area.

Wastewater Extension

We propose wastewater conveyance to connect to the proposed lift station at the City of Hutto Wastewater Treatment plant located across FM 1660 to the east of this project area. Most wastewater line is proposed to be by 8-inch diameter until approximately 350 LUE's are reached at which point the line will be proposed as a 12-inch line along the proposed collector road until it reaches the FM1660 ROW. We then propose a wastewater collector of a size to be determined

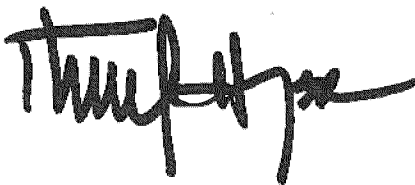
Planning Department
City of Hutto
January 3, 2022
Page 2 of 2

**Meadowbrook SER
W&WW SER Engineer's Report**

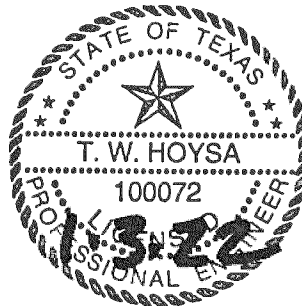
by the City to run down the FM1660 ROW to the existing wastewater treatment plant (WWTP) site and terminating at a City proposed lift station on the WWTP site. Details of the lift station depth and location have not yet been provided to us. We expect to need a 12-inch wastewater line for purposes of this project and are willing to oversize the line per City direction with proportional reimbursement.

If you have any questions, or require any additional information, please do not hesitate to call.

Very Truly Yours,
LJA ENGINEERING, INC.



T. W. Hoysa, P. E.
Sr. Project Manager

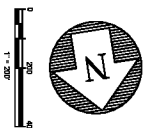
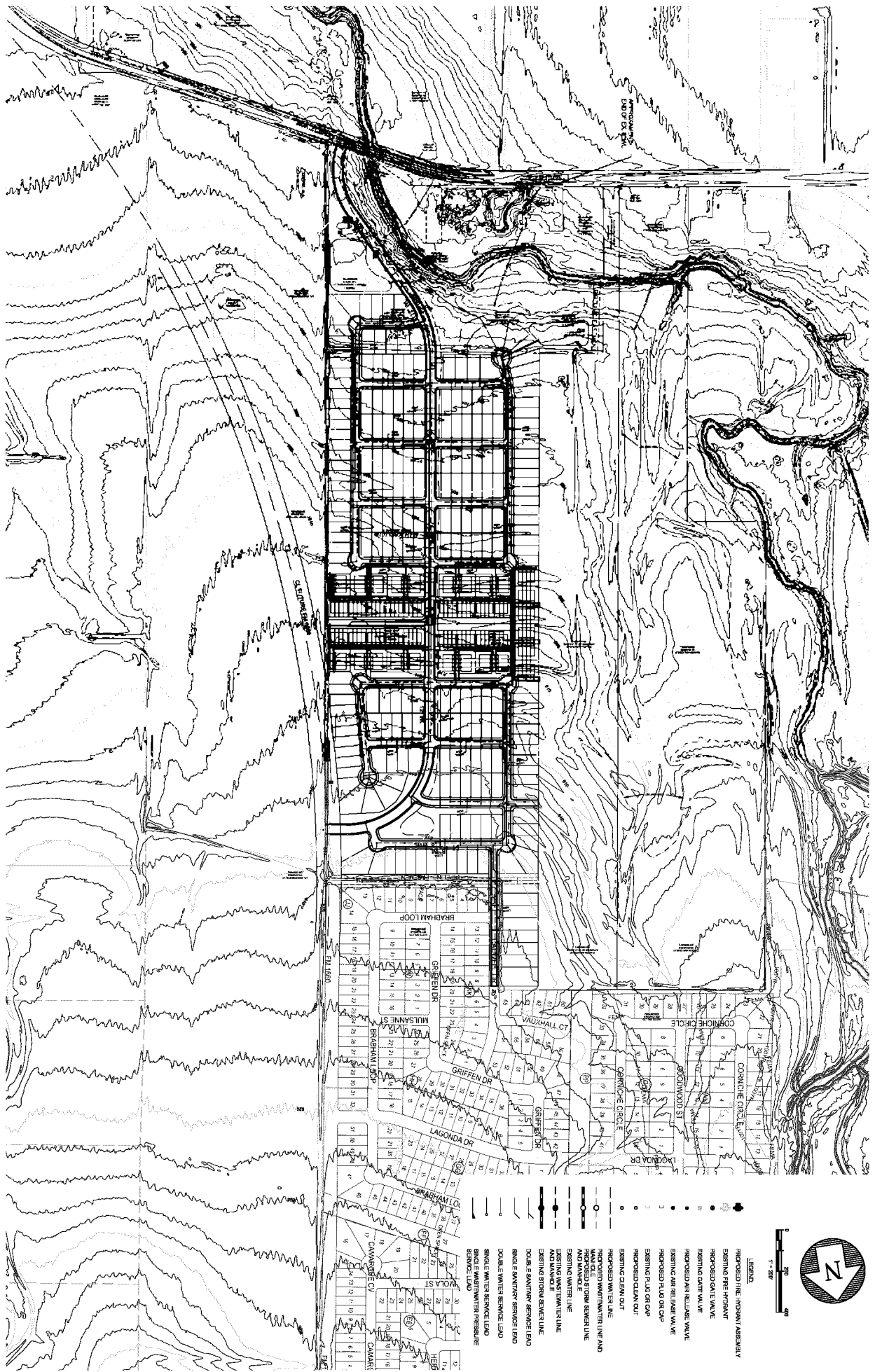


TWH/ap

EXHIBIT 1

Overall Utility Layouts

LLA Engineering, Inc.
 10000
 Scale: 1" = 40'
 Date: 07/30/24
 Project: 2024073027
 Sheet: 100 of 132



- LEGEND**
- PROPOSED FIRE HYDRANT
 - EXISTING FIRE HYDRANT
 - PROPOSED GAS VALVE
 - EXISTING GAS VALVE
 - PROPOSED AIR RELEASE VALVE
 - EXISTING AIR RELEASE VALVE
 - PROPOSED FLOOD OR CAP
 - EXISTING FLOOD OR CAP
 - PROPOSED CLEAN OUT
 - EXISTING CLEAN OUT
 - PROPOSED WATER LINE
 - EXISTING WATER LINE
 - PROPOSED WASTEWATER LINE AND MANHOLE
 - EXISTING WASTEWATER LINE AND MANHOLE
 - PROPOSED SANITARY SERVICE LINE
 - EXISTING SANITARY SERVICE LINE
 - PROPOSED WATER SERVICE LINE
 - EXISTING WATER SERVICE LINE
 - PROPOSED WATER SERVICE LINE AND MANHOLE
 - EXISTING WATER SERVICE LINE AND MANHOLE
 - PROPOSED WATER SERVICE LINE
 - EXISTING WATER SERVICE LINE
 - PROPOSED WATER SERVICE LINE AND MANHOLE
 - EXISTING WATER SERVICE LINE AND MANHOLE

EX1-OVERALL PRELIMINARY LAYOUT

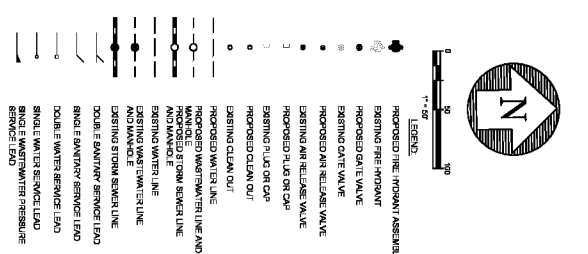
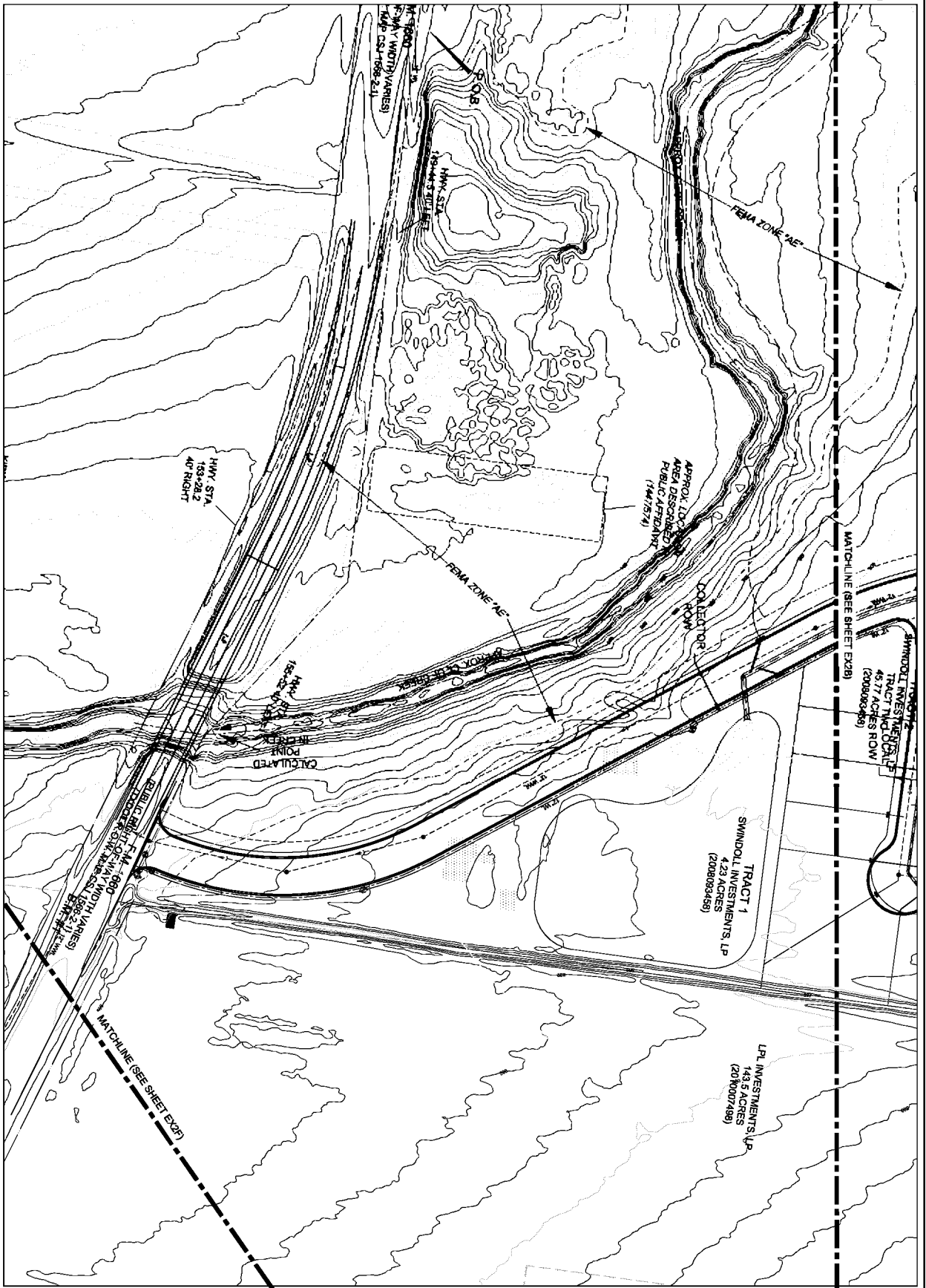
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RECORDERS MEMORANDUM
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EXHIBIT 2A-2F

Detailed Utility Layouts

LJA Engineering, Inc. **Plan 2024073027**
 10000 Transway Blvd. **Sheet 102**
 Suite 104 **FW 31243/10**
 Grand Haven, MI 49424 **Scale: 1" = 40'**



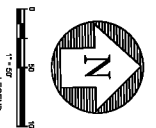
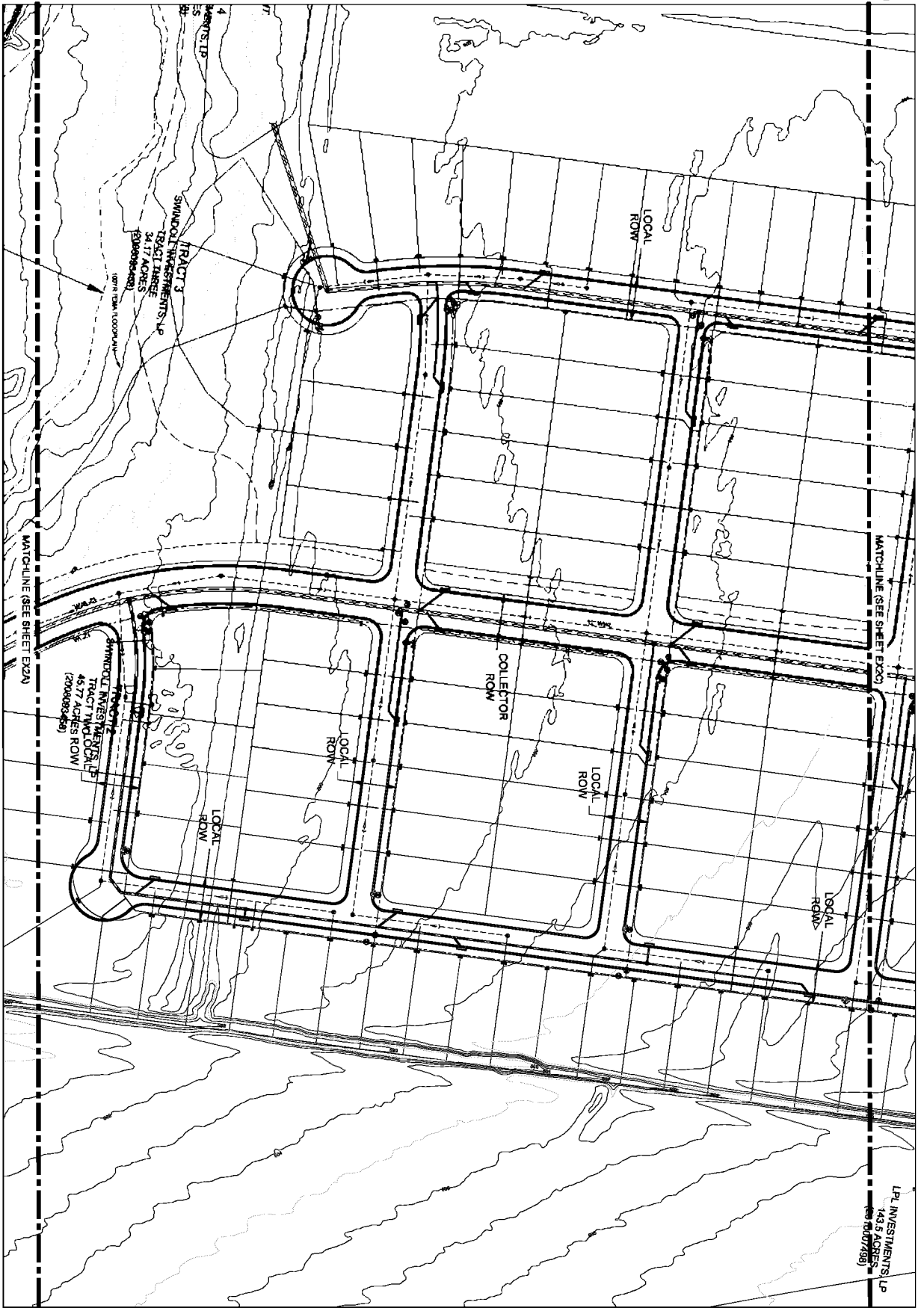
NOTES:
 1) ALL WWT LINES ARE EXCEPT AS NOTED.
 2) OPEN LINES CONSTRUCTED & SUBJECT TO CHANGE.

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EX2A-UTILITY LAYOUT
 12/17/2021

RECORDERS MEMORANDUM
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LPA Engineering, Inc. Project: 2024073027
 10000 W. 10th Street, Suite 100
 Denver, CO 80202
 Phone: 303.733.1100
 Fax: 303.733.1101



- LEGEND**
- PROPOSED THE INDOOR ASSEMBLY
 - EXISTING FIRE HYDRANT
 - PROPOSED GAS VALVE
 - EXISTING GAS VALVE
 - PROPOSED AIR RELEASE VALVE
 - EXISTING AIR RELEASE VALVE
 - PROPOSED FLOOD OR CAP
 - EXISTING FLOOD OR CAP
 - PROPOSED CLEAN OUT
 - EXISTING CLEAN OUT
 - PROPOSED WATER LINE
 - EXISTING WATER LINE
 - PROPOSED WATER LINE AND PROPOSED STORM SEWER LINE AND MANHOLE
 - EXISTING WATER LINE
 - EXISTING WATER TOWER LINE
 - EXISTING STORM SEWER LINE
 - DOUBLE RAINWATER SERVICE LEAD
 - SINGLE RAINWATER SERVICE LEAD
 - DOUBLE WATER SERVICE LEAD
 - SINGLE WATER SERVICE LEAD
 - SINGLE WASTEWATER PRESSURE SERVICE LEAD

NOTES

- 1) ALL WMM LINES ARE EXCEPT AS NOTED
- 2) WMM WITH LINES CONCENTRIC & SUBJECT TO CHANGE

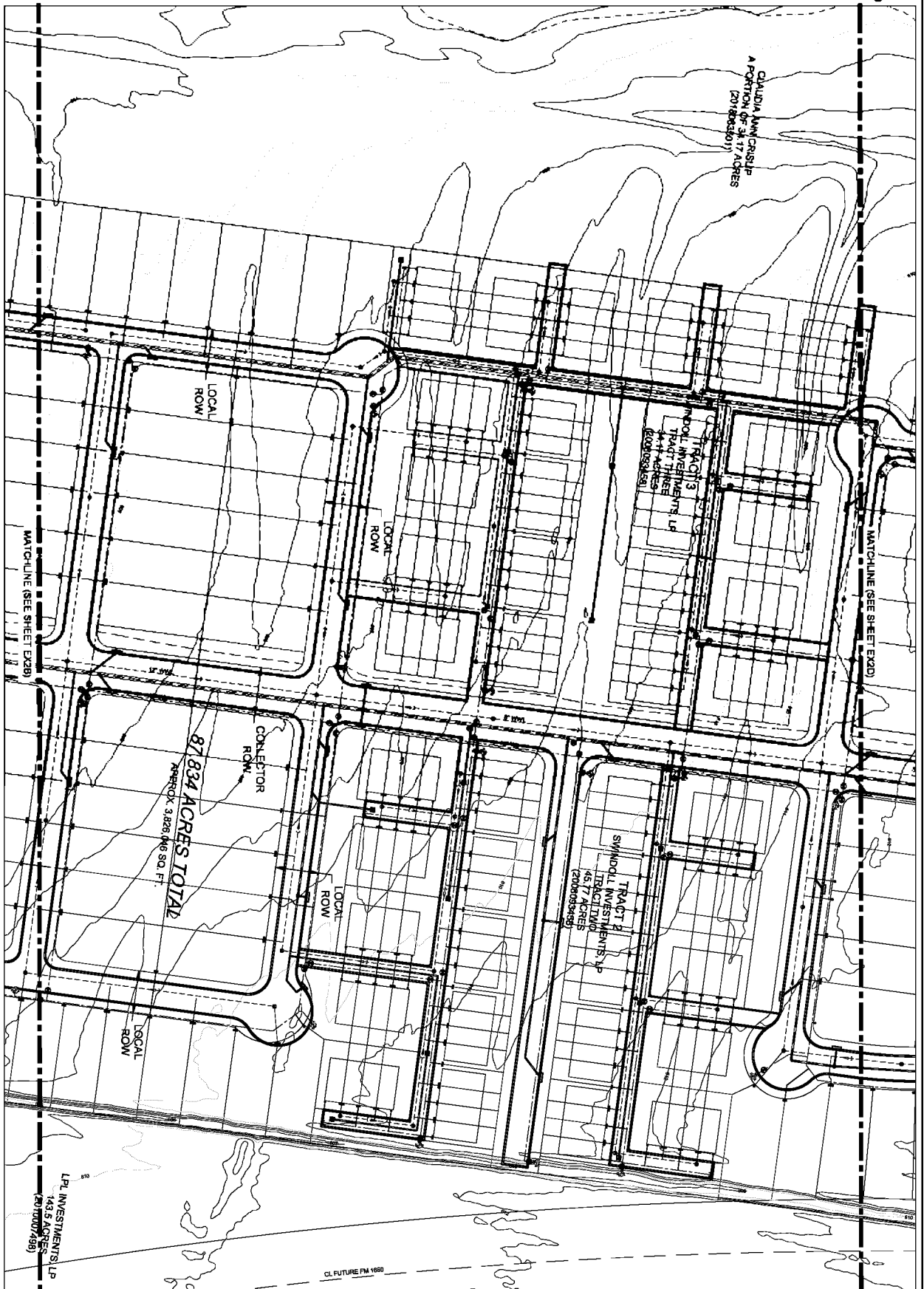
RECORDERS MEMORANDUM

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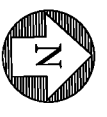
EX2B-UTILITY LAYOUT
 12/17/2021

LJA Professional, Inc.
 10001 Timberline Way
 Suite 104
 Quantico, VA 22081
 Phone: 571.737.1122
 Fax: 571.737.1122



87,834 ACRES TOTAL
 APPROX. 3,826,046 SQ. FT.

LPI INVESTMENTS LP
 14.92 ACRES
 (2019000499)



- LEGEND
- 1) PROPOSED THE INDOOR ASSEMBLY
 - 2) EXISTING FIRE HYDRANT
 - 3) PROPOSED GAS E VALVE
 - 4) EXISTING GAS E VALVE
 - 5) PROPOSED GAS E VALVE
 - 6) EXISTING GAS E VALVE
 - 7) PROPOSED GAS E VALVE
 - 8) EXISTING GAS E VALVE
 - 9) PROPOSED GAS E VALVE
 - 10) EXISTING GAS E VALVE
 - 11) PROPOSED WATER MAIN LINE AND BRANCH
 - 12) EXISTING WATER MAIN LINE AND BRANCH
 - 13) PROPOSED WATER MAIN LINE AND BRANCH
 - 14) EXISTING WATER MAIN LINE AND BRANCH
 - 15) PROPOSED WATER MAIN LINE AND BRANCH
 - 16) EXISTING WATER MAIN LINE AND BRANCH
 - 17) PROPOSED WATER MAIN LINE AND BRANCH
 - 18) EXISTING WATER MAIN LINE AND BRANCH
 - 19) PROPOSED WATER MAIN LINE AND BRANCH
 - 20) EXISTING WATER MAIN LINE AND BRANCH
 - 21) PROPOSED WATER MAIN LINE AND BRANCH
 - 22) EXISTING WATER MAIN LINE AND BRANCH
 - 23) PROPOSED WATER MAIN LINE AND BRANCH
 - 24) EXISTING WATER MAIN LINE AND BRANCH
 - 25) PROPOSED WATER MAIN LINE AND BRANCH
 - 26) EXISTING WATER MAIN LINE AND BRANCH
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 - 36) EXISTING WATER MAIN LINE AND BRANCH
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 - 39) PROPOSED WATER MAIN LINE AND BRANCH
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 - 94) EXISTING WATER MAIN LINE AND BRANCH
 - 95) PROPOSED WATER MAIN LINE AND BRANCH
 - 96) EXISTING WATER MAIN LINE AND BRANCH
 - 97) PROPOSED WATER MAIN LINE AND BRANCH
 - 98) EXISTING WATER MAIN LINE AND BRANCH
 - 99) PROPOSED WATER MAIN LINE AND BRANCH
 - 100) EXISTING WATER MAIN LINE AND BRANCH

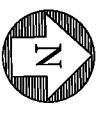
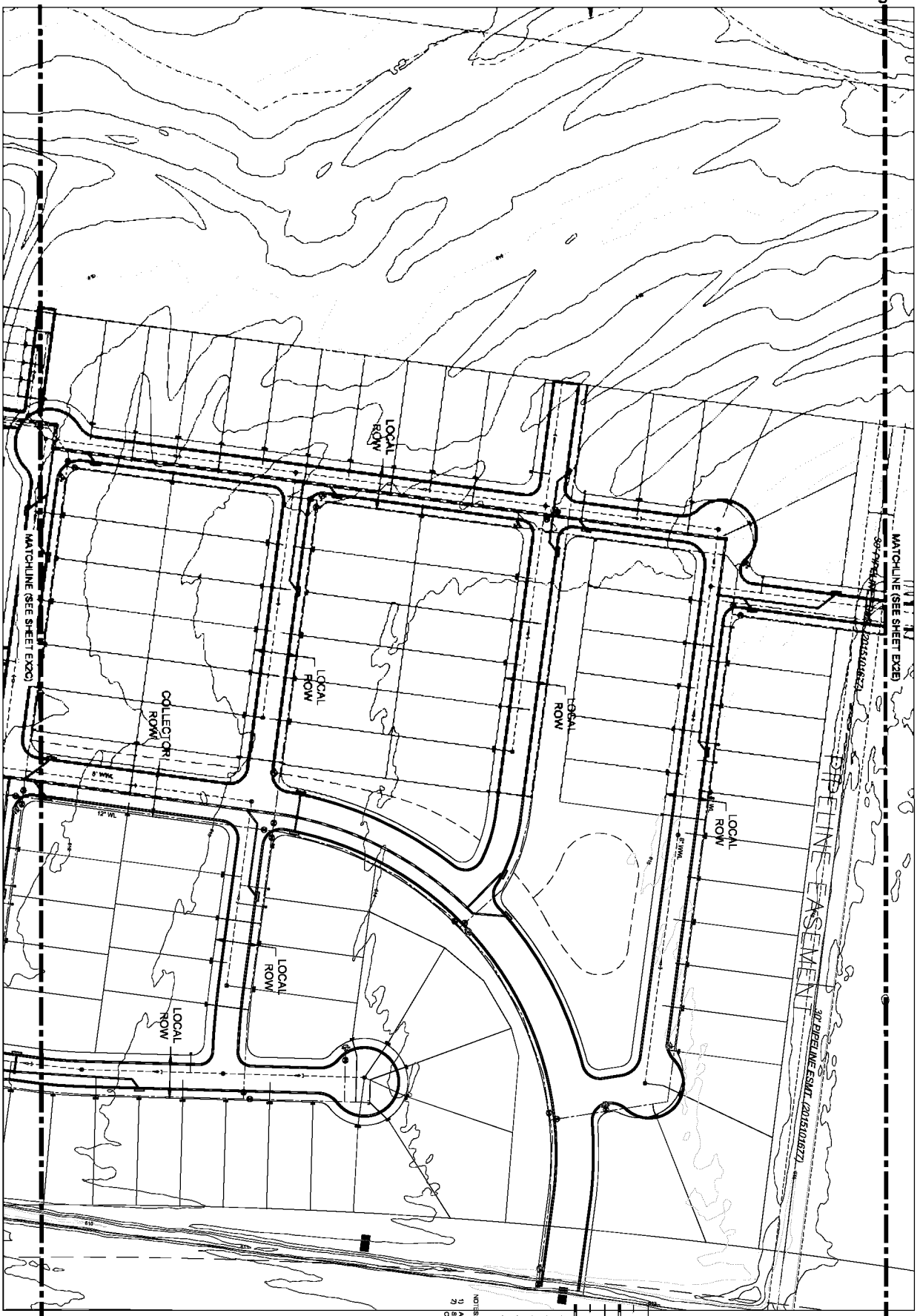
RECORDERS MEMORANDUM

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EXC-UTILITY LAYOUT
 12/17/2021

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LJA Engineering, Inc. Project: 2024073027
 10000 Old Dominion Road, Suite 100
 Fairfax, VA 22031
 Phone: 703.441.1100



1" = 50'

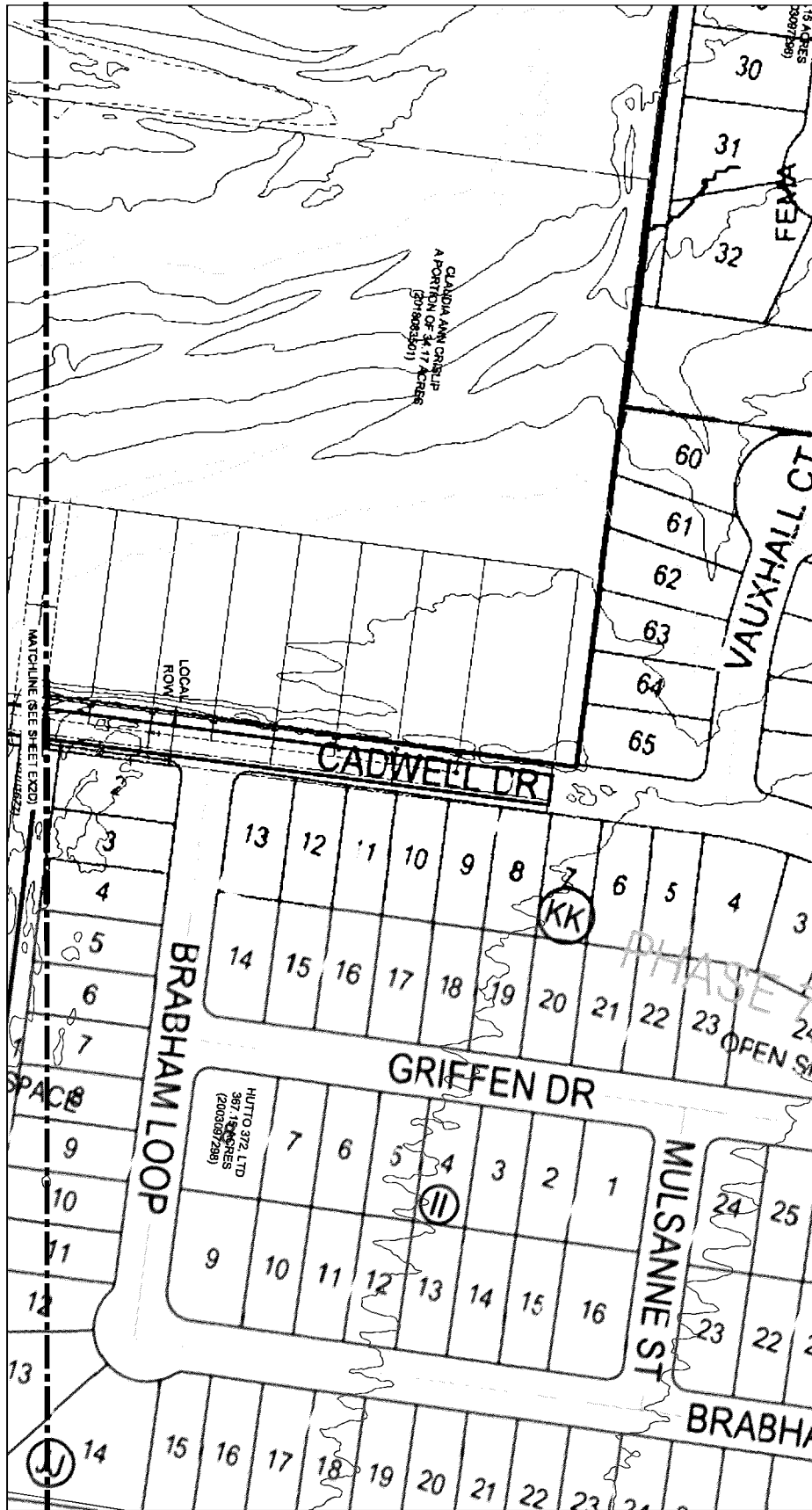
- LEGEND
- PROPOSED THE PROPOSED ASSEMBLY
 - EXISTING FIRE HYDRANT
 - PROPOSED GAS VALVE
 - EXISTING GAS VALVE
 - EXISTING GATE VALVE
 - PROPOSED AIR RELEASE VALVE
 - EXISTING AIR RELEASE VALVE
 - PROPOSED FLOOD OR CAP
 - EXISTING FLOOD OR CAP
 - PROPOSED CLEAN OUT
 - EXISTING CLEAN OUT
 - PROPOSED WATER LINE
 - EXISTING WATER LINE
 - PROPOSED WATER SERVICE LINE AND
 - EXISTING WATER SERVICE LINE AND
 - PROPOSED STORM SERVICE LINE
 - EXISTING STORM SERVICE LINE
 - PROPOSED WATER SERVICE LEAD
 - EXISTING WATER SERVICE LEAD
 - DOUBLE WATER SERVICE LEAD
 - SINGLE WATER SERVICE LEAD
 - PROPOSED WATER PRESSURE
 - EXISTING WATER PRESSURE
 - SERVICE LEAD
- NOTES
- 1) ALL WATER LINES & EXCEPT AS NOTED
 - 2) EXCEPT AS NOTED
 - 3) EXCEPT AS NOTED

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 and is not to be used for construction, permitting, or other purposes.

EX2D-UTILITY LAYOUT
 12/17/2021

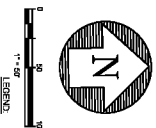
RECORDERS MEMORANDUM
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LJA Professional, Inc.
 10000
 Scale: 1/4" = 1'-0"
 Date: 07/20/24
 Project: 2024073027
 Sheet: 106 of 132



NOTES:
 1) ALL WORK LINES ARE 8" EXCEPT AS NOTED.
 2) OPEN SPACES ARE CONCEPTUAL & SUBJECT TO CHANGE.

- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- PROPOSED GAS VALVE
- EXISTING GAS VALVE
- PROPOSED AIR RELEASE VALVE
- EXISTING AIR RELEASE VALVE
- PROPOSED FLOOD CONTROL
- EXISTING FLOOD CONTROL
- PROPOSED CLEAN OUT
- EXISTING CLEAN OUT
- PROPOSED WATER LINE
- EXISTING WATER LINE
- PROPOSED WASTEWATER LINE AND MANHOLE
- EXISTING WASTEWATER LINE AND MANHOLE
- PROPOSED WATER SERVICE LINE
- EXISTING WATER SERVICE LINE
- PROPOSED DOUBLE WATER SERVICE LINES
- EXISTING DOUBLE WATER SERVICE LINES
- PROPOSED SINGLE WATER SERVICE LINES
- EXISTING SINGLE WATER SERVICE LINES
- PROPOSED DOUBLE WATER SERVICE PRESSURE SERVICE LINES
- EXISTING DOUBLE WATER SERVICE PRESSURE SERVICE LINES



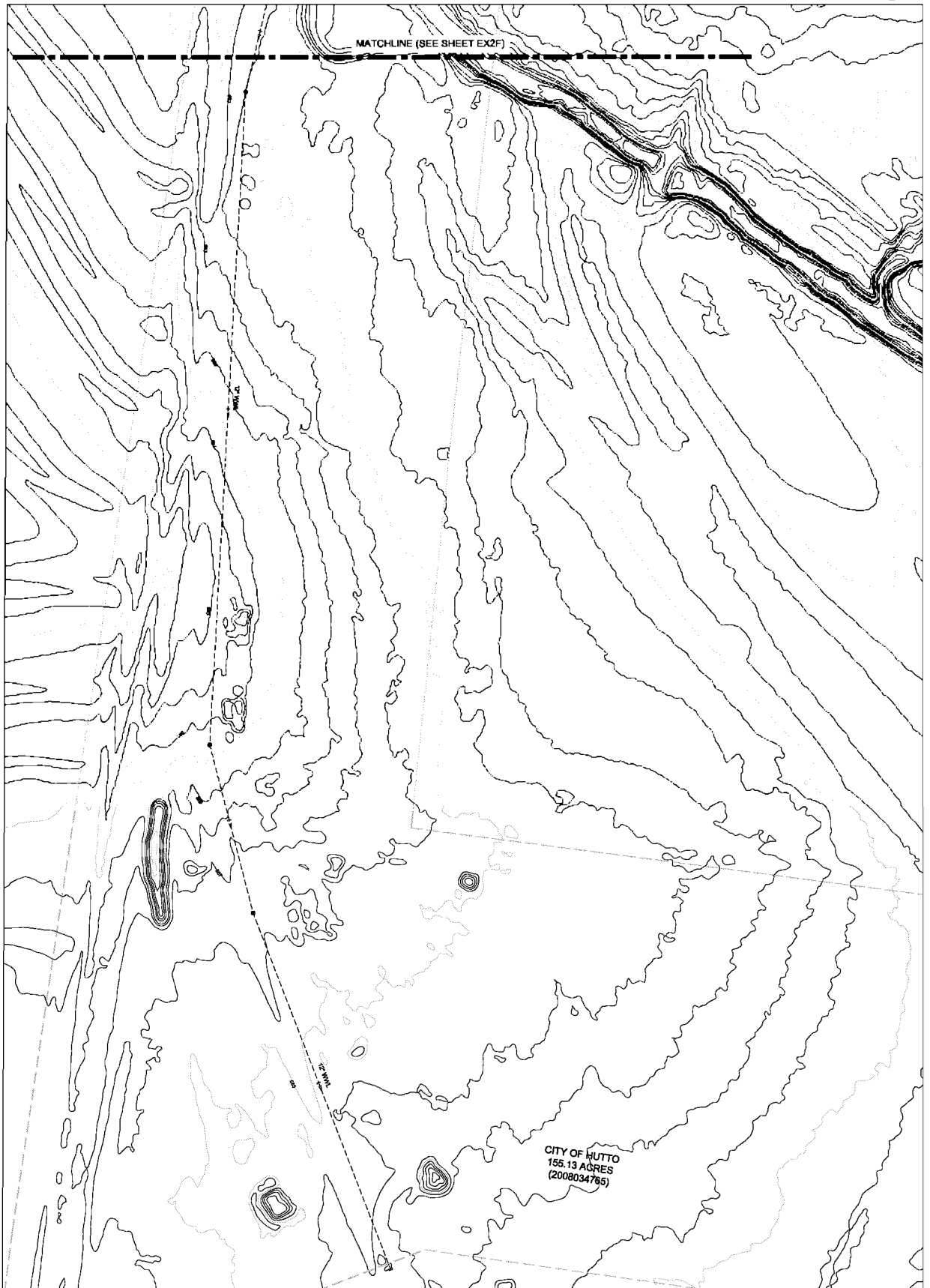
RECORDERS MEMORANDUM
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EX2E-UTILITY LAYOUT
 12/1/2021

LJA Engineering, Inc.
 10000
 Scale: 1" = 40'
 Project No. 23-034765
 Sheet No. 108 of 132

MATCHLINE (SEE SHEET EX2F)



CITY OF HULLO
 155.13 ACRES
 (2008034765)

LEGEND

- PROPOSED 12" IRONPIPE ASSEMBLY
- EXISTING FIRE HYDRANT
- PROPOSED 6" IRON VALVE
- EXISTING 6" IRON VALVE
- EXISTING GATE VALVE
- PROPOSED AIR RELEASE VALVE
- EXISTING AIR RELEASE VALVE
- PROPOSED 1/2" OR 3/4" CAP
- PROPOSED CLEAN OUT
- EXISTING CLEAN OUT
- PROPOSED WATER LINE
- PROPOSED WATER MAIN LINE AND PROPOSED STORM SEWER LINE AND MANHOLE
- EXISTING WATER LINE
- EXISTING WATER MAIN LINE
- EXISTING STORM SEWER LINE
- EXISTING STORM SEWER LINE
- DOUBLE SANITARY SERVICE LEAD
- SINGLE SANITARY SERVICE LEAD
- DOUBLE WATER SERVICE LEAD
- SINGLE WATER SERVICE LEAD
- SINGLE WATER MAIN PRESSURE SERVICE LEAD

NOTES

- 1) ALL WATER LINES ARE EXCEPT AS NOTED.
- 2) CHANGES TO THESE LINES ARE SUBJECT TO CHANGES TO THE PLAN.

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EX2G-UTILITY LAYOUT
 12/17/2021

RECORDERS MEMORANDUM

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EXHIBIT 3

SER Calculations

EXHIBIT 3

**Meadowbrook
WATER AND WASTEWATER FLOW REQUIREMENTS**

**SUMMARY
As of January 3, 2022**

Meadowbrook	
Total LUEs	494
Wastewater	
Average Day Flow	96.1 gpm
Inflow & Infiltration	35.9 gpm
Peak Dry Weather Flow (Qpdwf)	349.1 gpm
Peak Wet Weather Flow (Qpwwf)	385 gpm
Minimum Flow (Qmin)	20.5 gpm
Water	
Average Day Demand	240.1 gpm
Peak Day Demand	636.4 gpm
Peak Hour Demand	1080.6 gpm
Fire Flow	
Sprinkled Maximum	1,500 gpm (2 hours)

See attached sheets for calculations and assumptions.

TOTAL LUE SUMMARY			
Building Type	Quantity	*LUE Weighting	Total LUEs
Single Family	494 units	1.0 LUE per unit	494
Multi - Family	units	0.7 LUE per unit	0
Retail	0 ft ²	1,660 ft ² per LUE	0
Restaurant	0 ft ²	200 ft ² per LUE	0

*per Hutto guidance document

Total LUE = 494

MEADOWBROOK WATER AND WASTEWATER REQUIREMENT CALCULATIONS

GIVEN:

Total LUEs required = 494 LUEs

ASSUME:

- City of RR DAC capacity requirements (W = UCM §1.7.2.A; WW = UCM §1.7.3.A.)
- Wastewater Drainage Area ≈ 69 acres (for I & I)
- Each LUE = 3.5 persons

FIND:

Required wastewater flow per UCM 1.7.3.A

$$1. \text{ Average Daily Flow} = \frac{280 \text{ gpd}}{\text{LUE}} \times 494 \text{ LUE} \times \frac{\text{day}}{1440 \text{ min}} = \mathbf{96.1 \text{ gpm} = \text{Avg Day Flow}}$$

2. Industrial Flows = not applicable

$$3. \text{ I\&I} = \frac{750 \text{ gal/day}}{\text{acre}} \times 69 \text{ acre} \times \frac{\text{day}}{1440 \text{ min}} = \mathbf{35.9 \text{ gpm} = \text{I\&I}}$$

4. Peak Dry Weather Flow

$$Q_{pdwf} = \frac{18 + \sqrt{0.018F}}{4 + \sqrt{0.018F}} \times F$$

$$F = \frac{80 \text{ gal/person}}{\text{day}} \cdot \frac{\text{day}}{1440 \text{ min}} \times \frac{3.5 \text{ person}}{\text{LUE}} \times 494 \text{ LUE} = \mathbf{96.05 \text{ gpm}}$$

$$\sqrt{0.018F} = 1.314$$

$$Q_{pdwf} = \mathbf{349.06 \text{ gpm}}$$

5. Peak Wet Weather Flow = Peak Dry Weather Flow + I&I

$$Q_{pwwf} = 349.06 \text{ gpm} + 35.9 \text{ gpm} = \mathbf{384.96 \text{ gpm}}$$

6. Minimum Flow

$$Q_{min} = [0.2 \times (0.0144 \times F)^{0.198}] \times F = \mathbf{20.484 \text{ gpm}}$$

FIND:

Required Water Flows per UCM 1.7.2.A.1.

$$1.b \text{ Avg Daily Demand} = \frac{200 \text{ gal/person}}{\text{day}} \cdot \frac{\text{day}}{1440 \text{ min}} \cdot 494 \text{ LUE} \cdot \frac{3.5 \text{ person}}{\text{LUE}} = \mathbf{240.14 \text{ gpm} = \text{Avg Day}}$$

**MEADOWBROOK
WATER AND WASTEWATER REQUIREMENT CALCULATIONS**

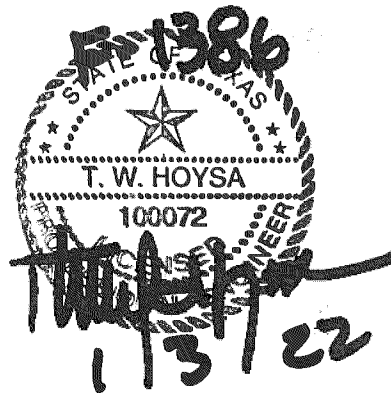
1.c Peak Day Demand = $\frac{530 \text{ gal/person}}{\text{day}} \cdot \frac{\text{day}}{1440 \text{ min}} \cdot 494 \text{ LUE} \cdot \frac{3.5 \text{ person}}{\text{LUE}} = 636.37 \text{ gpm} = \text{Peak Day}$

1.d Peak Hour Demand = $\frac{900 \text{ gal/person}}{\text{day}} \cdot \frac{\text{day}}{1440 \text{ min}} \cdot 494 \text{ LUE} \cdot \frac{3.5 \text{ person}}{\text{LUE}} = 1080.63 \text{ gpm} = \text{Peak Hr}$

Fire Flow Requirements per International Fire Code (IFC 2015) Table B105.1

Development	Existing or Proposed Structure	Sq. Ft.	Construction Type (assumed)	*Fire Flow	*May be Reduced up to 50%
Single-Family	Proposed	<3,500	Type IIB	1,000 gpm for 1 hours	1000 gpm with sprinkling for 1 hours
Town Home	Proposed	3875	Type IIB	1500 gpm for 2 hours	1500 gpm with sprinkling for 2 hours

*Capacity measured at 20 psi



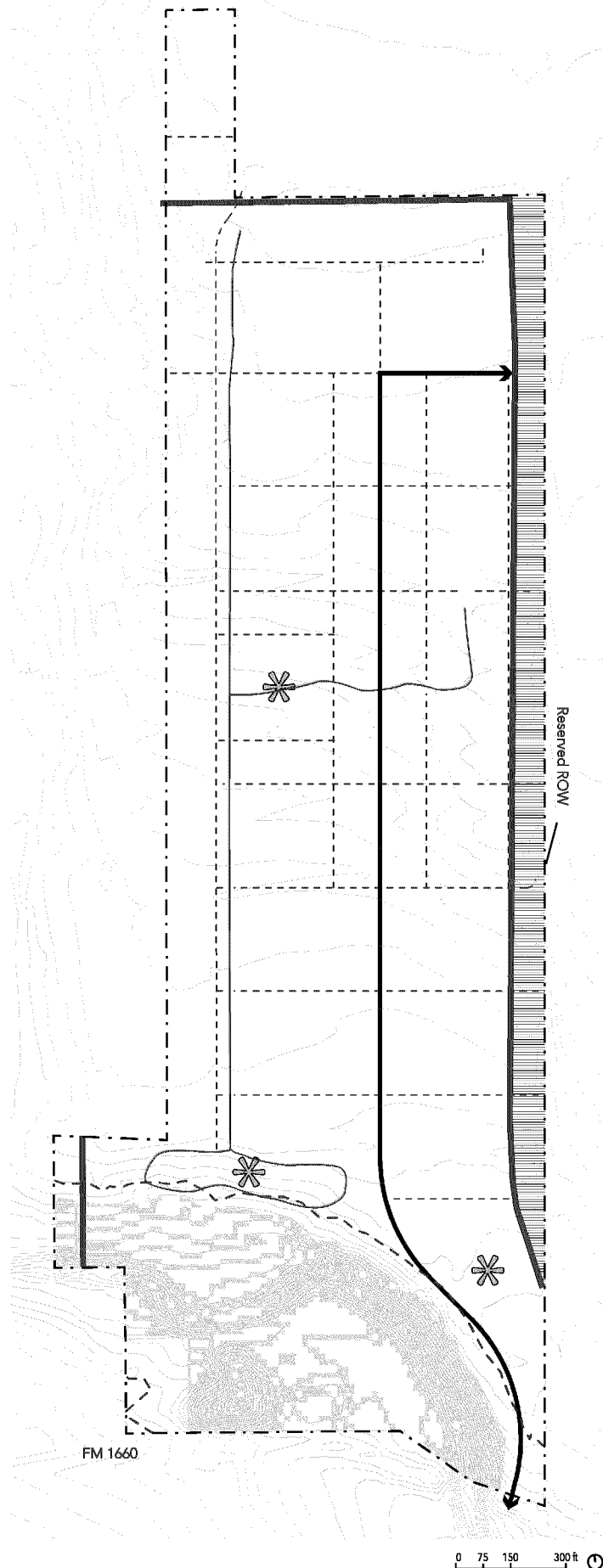
Appendix E – Parks & Open Spaces Exhibit

REQUIRED PARKLAND

Park Type	Min. Acres
Passive	10 acres
Active	5 acres
TOTAL	15 acres

General Notes

- The location, size, and orientation of active parks may change as long as the following standards are met:
 - An active park or trail is provided within 1/4 mile of each residence.
 - Required amenities identified in the Meadow Brook PUD are constructed.



Legend:

- | | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> --- Site Boundary Atlas-14: 100 year floodplain - - - 75' Riparian Buffer Existing ROW ▨ ROW Reserve Future ROW ▨ Easements 1ft Topography lines | <p>Parks:</p> <ul style="list-style-type: none"> ▨ Passive Parks Active Parks * HOA Parks ▬ Trails ▬ Residential Collector - - - Streets / Alleys |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Appendix F – Construction Schedule

Meadow Brook 8-10-2023
Build Out / Closing Schedule

	Total Units	Starts				Year 2				Year 3				Year 4			
		Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4
50'	80	16	16	16	16	16	16	16	16	16	16	16	16	16	16	16	16
60'	14	3	3	3	4	4	4	4	4	4	4	4	4	4	4	4	4
TH	282				40	40	40	40	40	40	40	40	40	40	40	40	40
50'	90				18	18	18	18	18	18	18	18	18	18	18	18	18
60'	16				4	4	4	4	4	4	4	4	4	4	4	4	4
	482	19	19	19	60	60	60	60	60	60	60	60	60	60	60	60	60

Meadow Brook

	Total Units	CO's (Certificate of Occupancy)															
		Year 1				Year 2				Year 3				Year 4			
		Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4
50'	80					16	16	16	16	16	16	16	16	16	16	16	16
60'	14					3	3	3	4	4	4	4	4	4	4	4	4
TH	282					40	40	40	40	40	40	40	40	40	40	40	40
50'	90					18	18	18	18	18	18	18	18	18	18	18	18
60'	16					4	4	4	4	4	4	4	4	4	4	4	4
	482	19	19	19	60	60	60	60	60	60	60	60	60	60	60	60	60

Appendix G - Engineer's Opinion of Probable Cost



2700 La Frontera Boulevard, Suite 150, Round Rock, Texas 78681
 t 512.767.7300 LJA.com TBPE F-1386

Meadow Brook
Engineer's Opinion of Probable Costs
For Calculation of Probable Costs - Concept Plan
LJA Project No. A245-1002

Meadow Brook
Engineer's Opinion of Probable Costs
STREET IMPROVEMENTS

September 8, 2023
 Page 1 of 10

Item No.	Estimated Quantity	Unit	Description and Unit Price of Item in Words	Unit Price In Figures	Total Price
1	63.7	AC	ROW and lot clearing, grubbing and preparation, Complete in place per acre for	\$3,500.00	\$222,950.00
2	102,774	CY	Excavation to subgrade, Complete in place per cubic yard for	\$4.00	\$411,097.89
3	102,774	CY	Embankment to subgrade, Complete in place per cubic yard for	\$3.00	\$308,323.42
4	482	EA	Finish Grade Lots, Complete in place per each lot for	\$350.00	\$168,700.00
5	73,655	SY	Subgrade preparation, Complete in place per square yard for	\$3.00	\$220,964.49
6	43,294	SY	8" Flexible Base, Complete in place per square yard for	\$12.00	\$519,522.65
7	17,965	SY	10" Flexible Base, Complete in place per square yard for	\$14.00	\$251,509.84
8	73,655	SY	Geogrid per TxDOT DMS 6240 Specification, Complete in place per square yard for	\$3.00	\$220,964.49
9	73,655	SY	8-inch lime treatment of subgrade, complete in place per square yard for	\$10.00	\$736,548.29

**Meadow Brook
 Engineer's Opinion of Probable Costs
 STREET IMPROVEMENTS (cont.)**

September 8, 2023
 Page 2 of 10

Item No.	Estimated Quantity	Unit	Description and Unit Price of Item in Words	Unit Price In Figures	Total Price
10	30,754	SY	2" Type D HMAC, Complete in place per square yard for	\$17.00	\$522,815.69
11	13,843	SY	3" Type D HMAC, Complete in place per square yard for	\$23.00	\$318,392.79
12	11,923	SY	6" Rigid pavement with reinforcement for Alleys, Complete in place per square yard for	\$58.50	\$697,483.07
13	36,832	LF	6" Curb and Gutter, Complete in place per linear foot for	\$18.00	\$662,967.36
14	100	EA	ADA Ramps, Complete in place per each for	\$1,500.00	\$150,000.00
15	39	EA	Street Name/Stop Signs and Stop Bars, Complete in place per each for	\$450.00	\$17,550.00
16	17	EA	Concrete Valley Gutters for Streets Complete in place per each for	\$8,500.00	\$144,500.00
17	17	EA	Concrete Valley Gutters for Alleys Complete in place per each for	\$3,500.00	\$59,500.00
18	3	EA	Barricades, Complete in place per each for	\$1,500.00	\$4,500.00
19	1	EA	Demolition and hauloff of existing structures, Complete in place for lump sum	\$35,000.00	\$35,000.00
Street Improvements Total					\$5,673,289.96
Street Alternate - Concrete Pavement					
20	30,754	SY	6" Rigid pavement with reinforcement (Local), Complete in place per square yard for	\$58.50	\$1,799,101.04
21	13,843	SY	7" Rigid pavement with reinforcement (Collector), Complete in place per square yard for	\$67.50	\$934,413.62

**Meadow Brook
 Engineer's Opinion of Probable Costs
 DRAINAGE IMPROVEMENTS**

September 8, 2023
 Page 3 of 10

Item No.	Estimated Quantity	Unit	Description and Unit Price of Item in Words	Unit Price In Figures	Total Price
1	56	EA	10' Type 1 Inlets, Complete in place per each for	<u>\$7,000.00</u>	<u>\$392,000.00</u>
2	22	EA	4'x4' Grate Inlets, Complete in place per each for	<u>\$5,500.00</u>	<u>\$121,000.00</u>
3	4,980	LF	18" RCP, Class III, All Depths, Complete in place per linear foot for	<u>\$85.00</u>	<u>\$423,267.11</u>
4	1,636	LF	24" RCP, Class III, All Depths, Complete in place per linear foot for	<u>\$115.00</u>	<u>\$188,152.68</u>
5	1,299	LF	30" RCP, Class III, All Depths, Complete in place per linear foot for	<u>\$145.00</u>	<u>\$188,309.27</u>
6	583	LF	36" RCP, Class III, All Depths, Complete in place per linear foot for	<u>\$175.00</u>	<u>\$102,111.66</u>
7	908	LF	42" RCP, Class III, All Depths, Complete in place per linear foot for	<u>\$220.00</u>	<u>\$199,723.50</u>
8	1,610	LF	48" RCP, Class III, All Depths, Complete in place per linear foot for	<u>\$260.00</u>	<u>\$418,725.48</u>
9	850	LF	54" RCP, Class III, All Depths, Complete in place per linear foot for	<u>\$300.00</u>	<u>\$255,032.55</u>
10	319	LF	60" RCP, Class III, All Depths, Complete in place per linear foot for	<u>\$350.00</u>	<u>\$111,503.35</u>

**Meadow Brook
 Engineer's Opinion of Probable Costs
 DRAINAGE IMPROVEMENTS (cont.)**

September 8, 2023
 Page 4 of 10

Item No.	Estimated Quantity	Unit	Description and Unit Price of Item in Words	Unit Price In Figures	Total Price
11	11	EA	5'x5' Box Storm Sewer Manhole, All Depths, Complete in place per each for	<u>\$6,000.00</u>	<u>\$66,000.00</u>
12	2	EA	6'x6' Box Storm Sewer Manhole, All Depths, Complete in place per each for	<u>\$6,500.00</u>	<u>\$13,000.00</u>
13	7	EA	7'x7' Box Storm Sewer Manhole, All Depths, Complete in place per each for	<u>\$12,500.00</u>	<u>\$87,500.00</u>
14	4	EA	8'x8' Box Storm Sewer Manhole, All Depths, Complete in place per each for	<u>\$15,000.00</u>	<u>\$60,000.00</u>
15	65	LF	6'x4' RCP Culvert Complete in place per each for	<u>\$750.00</u>	<u>\$48,750.00</u>
16	2	EA	Headwall for 6'x4' RCP Box Culvert, Complete in place per each for	<u>\$16,500.00</u>	<u>\$33,000.00</u>
17	12,250	LF	Trench Safety, Complete in place per linear foot for	<u>\$3.00</u>	<u>\$36,749.73</u>
Drainage Improvements Total					<u>\$2,744,825.32</u>

**Meadow Brook
 Engineer's Opinion of Probable Costs
 WATER IMPROVEMENTS**

September 8, 2023
 Page 5 of 10

Item No.	Estimated Quantity	Unit	Description and Unit Price of Item in Words	Unit Price In Figures	Total Price
1	1	EA	8" Wet Connection, Complete in place per each for	<u>\$4,500.00</u>	<u>\$4,500.00</u>
2	15,716	LF	8" Waterline, AWWA C900, Class 200, (DR14), Complete in place per linear foot for	<u>\$80.00</u>	<u>\$1,257,280.00</u>
3	101	EA	8" Gate Valve and Box, Including Adjustment to Grade, Complete in place per each for	<u>\$2,500.00</u>	<u>\$252,500.00</u>
4	27	EA	5 1/4" Fire Hydrant connecting to 8" WL, Including 6" D.I. Lead, 6" Gate Valve and Box and Valve Adjustment to Grade, Complete in place per each for	<u>\$7,500.00</u>	<u>\$202,500.00</u>
5	9	EA	5 1/4" Fire Hydrant connecting to 24" WL, Including 6" D.I. Lead, 6" Gate Valve and Box and Valve Adjustment to Grade, Complete in place per each for	<u>\$8,000.00</u>	<u>\$72,000.00</u>
6	199	EA	Double Water Service, Complete in place per each for	<u>\$2,900.00</u>	<u>\$577,100.00</u>
7	132	EA	Single/Irrigation Water Service, Complete in place per each for	<u>\$2,600.00</u>	<u>\$343,200.00</u>
8	1,728	LF	3 - 4" Irrigation Sleeves, Complete in place per linear foot for	<u>\$48.00</u>	<u>\$82,944.00</u>
9	15,716	LF	Trench Safety, Complete in place per linear foot for	<u>\$3.00</u>	<u>\$47,148.00</u>
Water Improvements Total				<u><u>\$2,839,172.00</u></u>	

**Meadow Brook
 Engineer's Opinion of Probable Costs
 WASTEWATER IMPROVEMENTS**

September 8, 2023
 Page 6 of 10

Item No.	Estimated Quantity	Unit	Description and Unit Price of Item in Words	Unit Price In Figures	Total Price
1	1	EA	Connection to existing Wastewater System, Install new WMMH, Complete in place per each for	<u>\$4,000.00</u>	<u>\$4,000.00</u>
2	13,297	LF	8" WWL, 0-8' Depth, SDR 26 PVC, including, C900 PVC or SDR26 for Water Line Crossings and Concrete Encasement where required, Complete in place per linear foot for	<u>\$65.00</u>	<u>\$864,325.15</u>
3	65	EA	4-Foot Diameter, WMMH, All Depths, including Bolted Cover, if required, and Adjustment to Grade, Complete in place per each for	<u>\$4,800.00</u>	<u>\$312,000.00</u>
4	193	EA	Double Wastewater Service, Complete in place per each for	<u>\$3,880.00</u>	<u>\$748,840.00</u>
5	90	EA	Single Wastewater Service, Complete in place per each for	<u>\$2,900.00</u>	<u>\$261,000.00</u>
6	13,297	LF	Trench Safety, Complete in place per linear foot for	<u>\$3.00</u>	<u>\$39,891.93</u>
Wastewater Improvement Total					<u>\$2,230,057.08</u>

Meadow Brook
Engineer's Opinion of Probable Costs
OFFSITE IMPROVEMENTS

September 8, 2023
Page 7 of 10

Item No.	Estimated Quantity	Unit	Description and Unit Price of Item in Words	Unit Price In Figures	Total Price
1	3,950	LF	16" Waterline, AWWA C900, Class 200, (DR14), Complete in place per linear foot for	<u>\$195.00</u>	<u>\$770,250.00</u>
2	5	EA	16" Gate Valve and Box, Including Adjustment to Grade, Complete in place per each for	<u>\$18,500.00</u>	<u>\$92,500.00</u>
3	3,915	LF	24" Waterline, upsized from 12" WL, AWWA C900, Class 200, (DR14), Complete in place per linear foot for	<u>\$325.00</u>	<u>\$1,272,375.00</u>
4	14	EA	24" Gate Valve and Box, upsized form 12" GV, Including Adjustment to Grade, Complete in place per each for	<u>\$45,000.00</u>	<u>\$630,000.00</u>
5	120	LF	Bore WL under FM1660, 24" WL in 36" casing with end seals and spacers, Complete in place per linear foot for	<u>\$875.00</u>	<u>\$105,000.00</u>
6	975	LF	15" WWL, upsized from 8" WWL, 8-10' Depth, SDR 26 PVC, including, C900 PVC or SDR26 for Water Line Crossings and Concrete Encasement where required, Complete in place per linear foot for	<u>\$175.00</u>	<u>\$170,625.00</u>
7	1,890	LF	15" WWL, upsized from 12" WWL, 8-10' Depth, SDR 26 PVC, including, C900 PVC or SDR26 for Water Line Crossings and Concrete Encasement where required, Complete in place per linear foot for	<u>\$195.00</u>	<u>\$368,550.00</u>
8	120	LF	Bore WW under FM1660, 15" WWL in 30" casing with end seals and spacers to connect to city provided 30" WWL, Complete in place per linear foot for	<u>\$850.00</u>	<u>\$102,000.00</u>

**Meadow Brook
 Engineer's Opinion of Probable Costs
 OFFSITE IMPROVEMENTS (cont.)**

September 8, 2023
 Page 8 of 10

Item No.	Estimated Quantity	Unit	Description and Unit Price of Item in Words	Unit Price In Figures	Total Price
9	1,800	SF	Bridge Widening for left turn lane, excluding traffic control, complete in place per square foot for	<u>\$500.00</u>	<u>\$900,000.00</u>
10	100	LF	PR-11 Handrail on bridge, complete in place per linear foot for	<u>\$275.00</u>	<u>\$27,500.00</u>
11	450	LF	Grind original striping and restripe to add left turn lane on east bound FM 1660, complete in place per linear foot for	<u>\$50.00</u>	<u>\$22,500.00</u>
12	1	LS	450 foot deceleration lane on westbound FM1660, complete in place per lump sum for	<u>\$125,000.00</u>	<u>\$125,000.00</u>
13	1	LS	Traffic Control on FM 1600, complete in place per lump sum for	<u>\$25,000.00</u>	<u>\$25,000.00</u>
14	1,800	LF	8-foot wide park trail, concrete finish complete in place per linear foot for	<u>\$55.00</u>	<u>\$99,000.00</u>
15	995	LF	5-foot wide sidewalk along FM1660 complete in place per linear foot for	<u>\$35.00</u>	<u>\$34,825.00</u>
16	7,865	LF	Trench Safety for WL, Complete in place per linear foot for	<u>\$3.00</u>	<u>\$23,595.00</u>
17	2,865	LF	Trench Safety for WWL, Complete in place per linear foot for	<u>\$3.00</u>	<u>\$8,595.00</u>
18	1,437	LF	25-foot wide Temporary Fire Department Access Drive, 1 1/2" HMAc over 6" Crushed Limestone Base, Complete in place per linear foot for	<u>\$125.00</u>	<u>\$179,588.98</u>
Offsite Improvement Total				<u><u>\$4,956,903.98</u></u>	

Meadow Brook
Engineer's Opinion of Probable Costs
Dry Utilities and General Conditions

September 8, 2023
Page 9 of 10

Item No.	Estimated Quantity	Unit	Description and Unit Price of Item in Words	Unit Price In Figures	Total Price
1	482	Lot	Electric and Gas Distribution infrastructure, to include conduit, transformer pads, elect. manholes, pullboxes, primary risers, street-lights, bores, and spoils disposal, gas service taps and gas lines, Complete in place per lot for		
				<u>\$4,500.00</u>	<u>\$2,169,000.00</u>
2	482	Lot	Streetlight, improvements, to include trench, conduit, meter pedestals, transformer pads, light poles, and pull boxes, Complete in place per lot for		
				<u>\$950.00</u>	<u>\$457,900.00</u>
3	1	EA	Mobilization, Complete in place per lump sum for		
				<u>\$450,000.00</u>	<u>\$450,000.00</u>
4	1	EA	Bonds, Payment and Performance, Bid, etc. Complete in place per each for		
				<u>\$350,000.00</u>	<u>\$350,000.00</u>
Dry Utilities and General Conditions Total					<u>\$3,426,900.00</u>

**Meadow Brook
Opinion of Probable Costs Summary
LJA Project No. A245-1002**

September 8, 2023
Page 10 of 10

Street Improvements Total	\$5,673,289.96
Drainage Improvements Total	\$2,744,825.32
Water Improvements Total	\$2,839,172.00
Wastewater Improvements Total	\$2,230,057.08
Offsite Improvements Total	\$4,956,903.98
Erosion/Sedimentation Control Total (5% construction sub-total)	\$922,212.42
Dry Utilities and General Conditions Total	\$3,426,900.00
GRAND TOTAL	\$22,793,360.75
Per Lot Total @ 482 Lots	\$47,289.13

Notes

Since ENGINEER has no control over the cost of labor, materials, equipment, services furnished by others, over the Contractor(s) methods of determining prices, over competitive bidding or market conditions, ENGINEER'S opinion of probable costs and construction cost(s) provided for herein are made on the basis of ENGINEER'S experience and qualifications and represents ENGINEER'S Judgment as an experienced and qualified professional engineer, familiar with the construction industry, but ENGINEER cannot and does not guarantee that proposals, bids or actual project construction costs will not vary from Opinion of Probable cost prepared.

Assumptions

1. Quantities based on concept plans prepared by LJA Engineering dated February 2022
2. Per client direction, no contingency was added to the OPC.
3. Costs assume curb and gutter dimensions per City of Hutto details and street widths per PUD exhibits.
4. The storm sewer system was sized using the following capacity criteria based on average slope of <1% across site:

<i>No. of Inlets</i>	<i>SSL Size</i>
1-2	18"
3-4	24"
5-7	30"
8-12	36"
13-19	42"
20-28	48"
29-37	54"
38-46	60"

5. Opinion of probable costs exclude landscape irrigation costs.
6. Electric and Gas Service does not include off-site infrastructure extensions, if needed.
7. Cut/Fill quantities assume 1 foot of cut and fill across entire site

Exhibit K

Reserved ROW

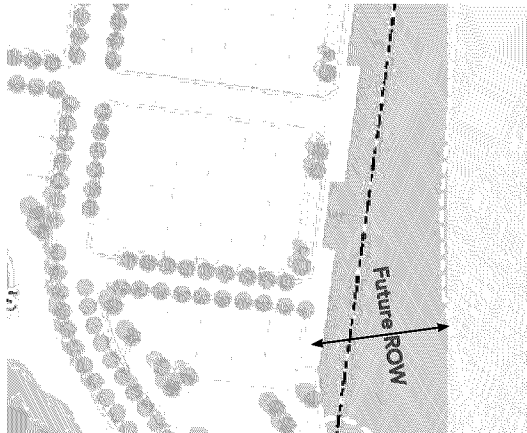
[See attached.]

DATA TABLE	
	Acres
Dedicated ROW	5.3 acres
TOTAL	5.3 acres

General Notes

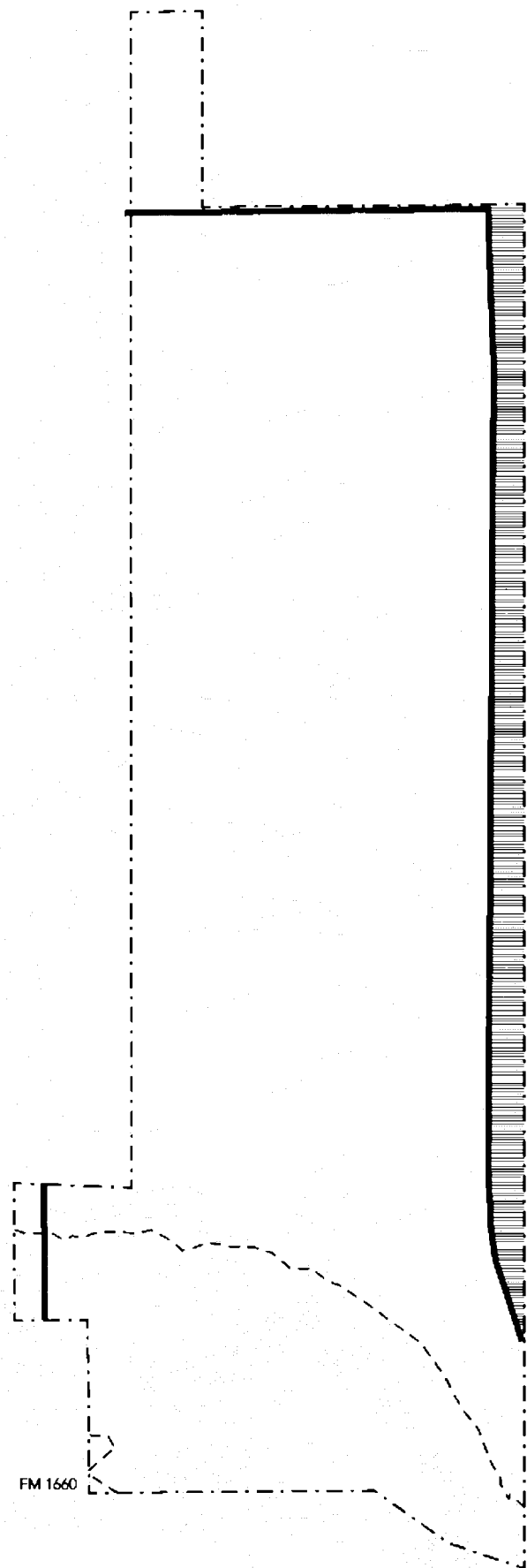
1. The Developer may construct two or more "Hammerhead Turnarounds" (herein so called) shown on Exhibit K within the Reserved ROW to serve as temporary emergency turnarounds until which time as the Hutto Arterial is constructed by the City and/or the County (the "Applicable Entity"). If the Applicable Entity commences construction of the Hutto Arterial after the Developer has completed construction of the Hammerhead Turnarounds, the Applicable Entity, at its sole cost, will remove the Hammerhead Turnarounds in order to construct roadway improvements that provide direct access to the roadways within the Property. If direct access to the Hutto Arterial is deemed unsafe by the Applicable Entity, or does not meet driveway spacing criteria required by the Applicable Regulations, then the Applicable Entity, at its sole cost, may construct an emergency gate, as permitted by the Applicable Regulations, through which access will be permitted only in an emergency (the "Emergency Gates"). If the Applicable Entity completes construction of the Hutto Arterial before the Developer commences construction of the Project, the Developer agrees to install the Emergency Gates, as necessary, and the City hereby agrees that such Emergency Gates shall be considered Authorized Improvements.

EXAMPLE OF HAMMERHEAD TURNAROUND



Legend:

- Site Boundary
- ==== ROW Dedication
- - - - 75' Riparian Buffer
- Existing ROW
- 1ft Topography lines
- ▨ Easements



0 75 150 300ft

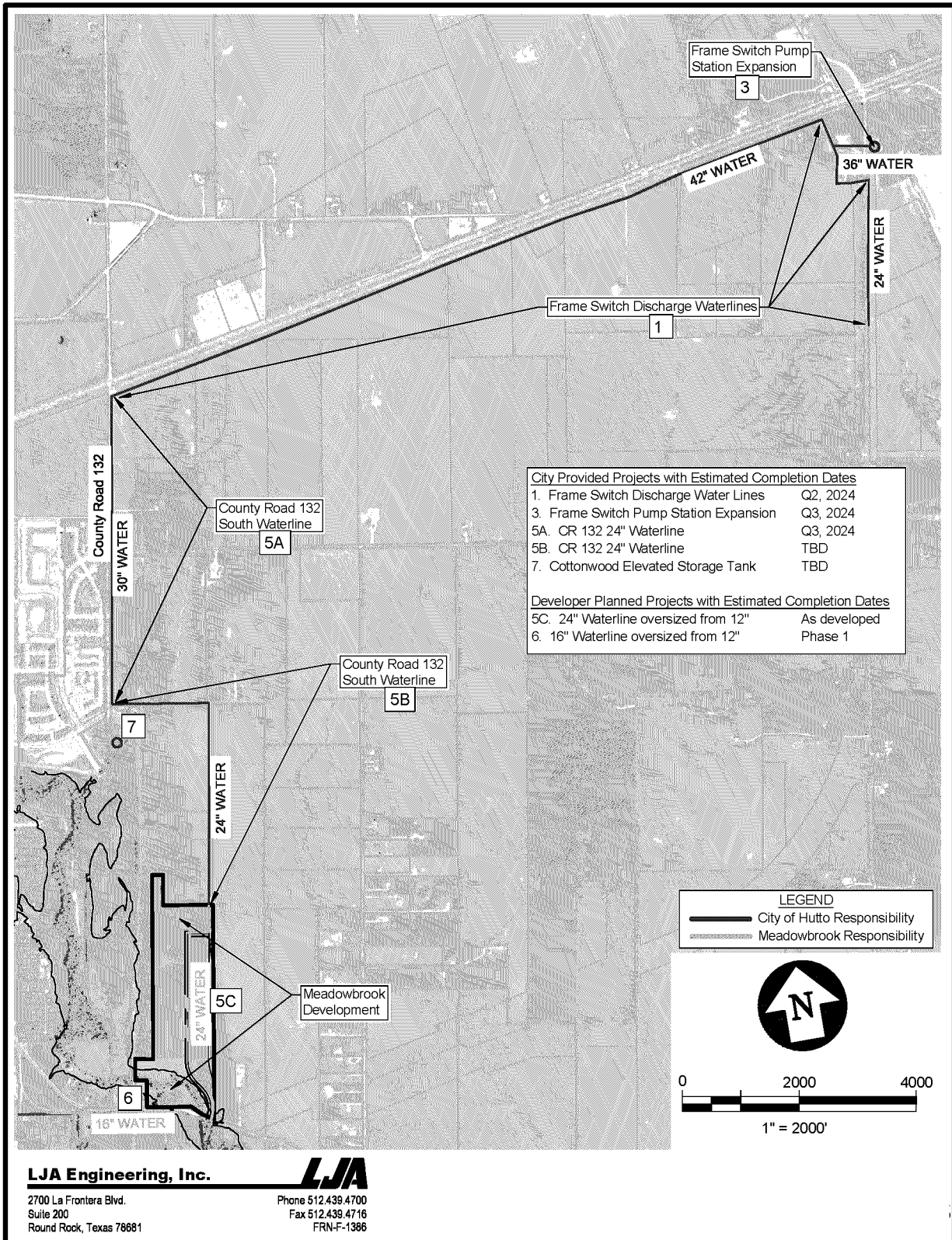
Exhibit L

Water Facilities

[See attached.]

RECORDERS MEMORANDUM

All or parts of the text on this page was not clearly legible for satisfactory recordation



LJA Engineering, Inc.

2700 La Frontera Blvd.
Suite 200
Round Rock, Texas 78681



Phone 512.439.4700
Fax 512.439.4716
FRN-F-1386

**ELECTRONICALLY RECORDED
OFFICIAL PUBLIC RECORDS**

2024073027

Pages: 132 Fee: \$645.00

09/13/2024 10:40 AM

OSALINAS



Nancy E. Rister

Nancy E. Rister, County Clerk
Williamson County, Texas

MEADOW BROOK PRELIMINARY PLAT - UPDATE #3 7/2/2025 SUBMITTAL

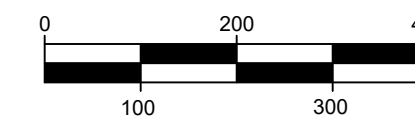
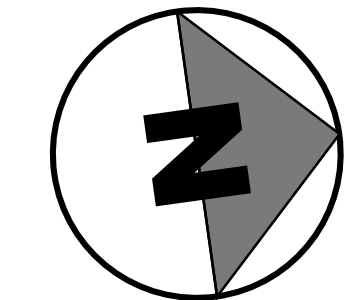
Attendees

Edward Hill (Edward.hill@huttotx.gov)
sandip (Sandip.Uprety@HuttoTX.gov)
Todd Meaker (todd.meaker@huttotx.gov)
Manny Hernandez (manny.hernandez@huttotx.gov)

Documents

MBPrelim-U3-Plat(6-23-25).pdf

MEADOW BROOK PRELIMINARY PLAT



SCALE: 1"=200'

Sheet List Table		
Sheet Number	Sheet Description	Sheet Title
1	PL0	COVER SHEET
2	PL1	PRELIMINARY PLAT SHEET 1 OF 2
3	PL2	PRELIMINARY PLAT SHEET 2 OF 2
4	PL3	LOT AREA TABLES
5	TS0	TREE SURVEY
6	DM1	EXISTING DRAINAGE AREA LAYOUT
7	DM2	PROPOSED DRAINAGE AREA LAYOUT
8	UT1	WATER & WASTEWATER LAYOUT SHEET 1 OF 2
9	UT2	WATER & WASTEWATER LAYOUT SHEET 2 OF 2
10	C10	CONNECTIVITY INDEX
11	AP0	ADJACENT PROPERTY OWNERS

Planning Review by:
Emmanuel Hernandez
Manny.Hernandez@hutto.tx.gov
512-365-9198

No
Comments

07/01/2025 11:39:56 AM

OWNER:
MB HUTTO LLC
1999 BRYAN STREET, SUITE 900
DALLAS, TEXAS 75201

DEVELOPER:
MB HUTTO, LLC
C/O JOHN LANDWEHR
COLUMNAR LAND
5500 GREENWOOD PLAZA BOULEVARD, SUITE 130
GREENWOOD VILLAGE, COLORADO 80111

ENGINEER:
512-CIVIL, INC.
3839 BEE CAVE ROAD, SUITE 201
AUSTIN, TEXAS 78746
(253) 232-6788
FIRM NO. F-26366
SCOTT J. ANDERSON, P.E.

SURVEYOR:
EARLY LAND SURVEYING, LLC
P.O. BOX 92588
AUSTIN, TEXAS 78709
(512) 202-8631
TBPELS FIRM NO. 10194487
JOE BEN EARLY, JR.

	45' x 110'	45' x 120'	55' x 110'	D-35 x 95
Phase 1	71	7	29	20 (40 units)
Phase 2	93	64	34	0
Total Units	164	71	63	20 (40 units)

LAND USE SUMMARY	
	UNIT COUNT
SINGLE FAMILY RESIDENTIAL LOT	
LOT SIZE 45x110'	164
LOT SIZE 45x120'	71
LOT SIZE 55x110'	63
DUPLX RESIDENTIAL LOT (1 LOT = 2 UNITS)	
LOT SIZE 70x95'	40
TOTAL RESIDENTIAL UNITS *	338
* MAXIMUM UNITS PER PUD = 520	
PARK LOT	10
AREA (AC)	
RESIDENTIAL LOT	47.97
ACTIVE PARK LOT **	6.03
PASSIVE PARK LOT (OPEN SPACE) ***	15.80
RIGHT-OF-WAY	18.03
TOTAL ACREAGE	87.83
** MINIMUM ACTIVE PARK PER PUD = 5 AC	
*** MINIMUM PASSIVE PARK PER PUD = 10 AC	
TOTAL NUMBER OF LOTS	328
TOTAL NUMBER OF BLOCKS	20

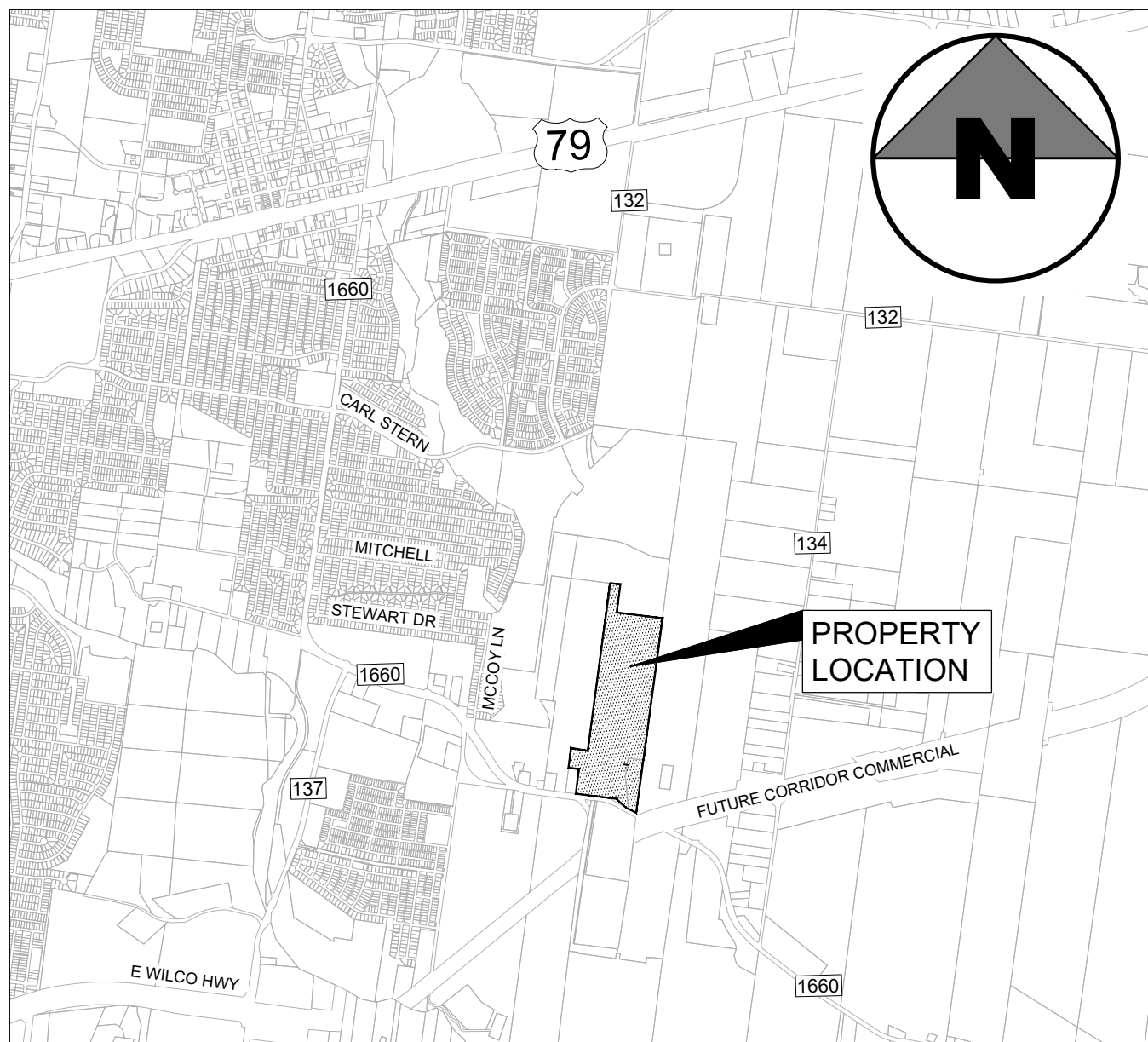
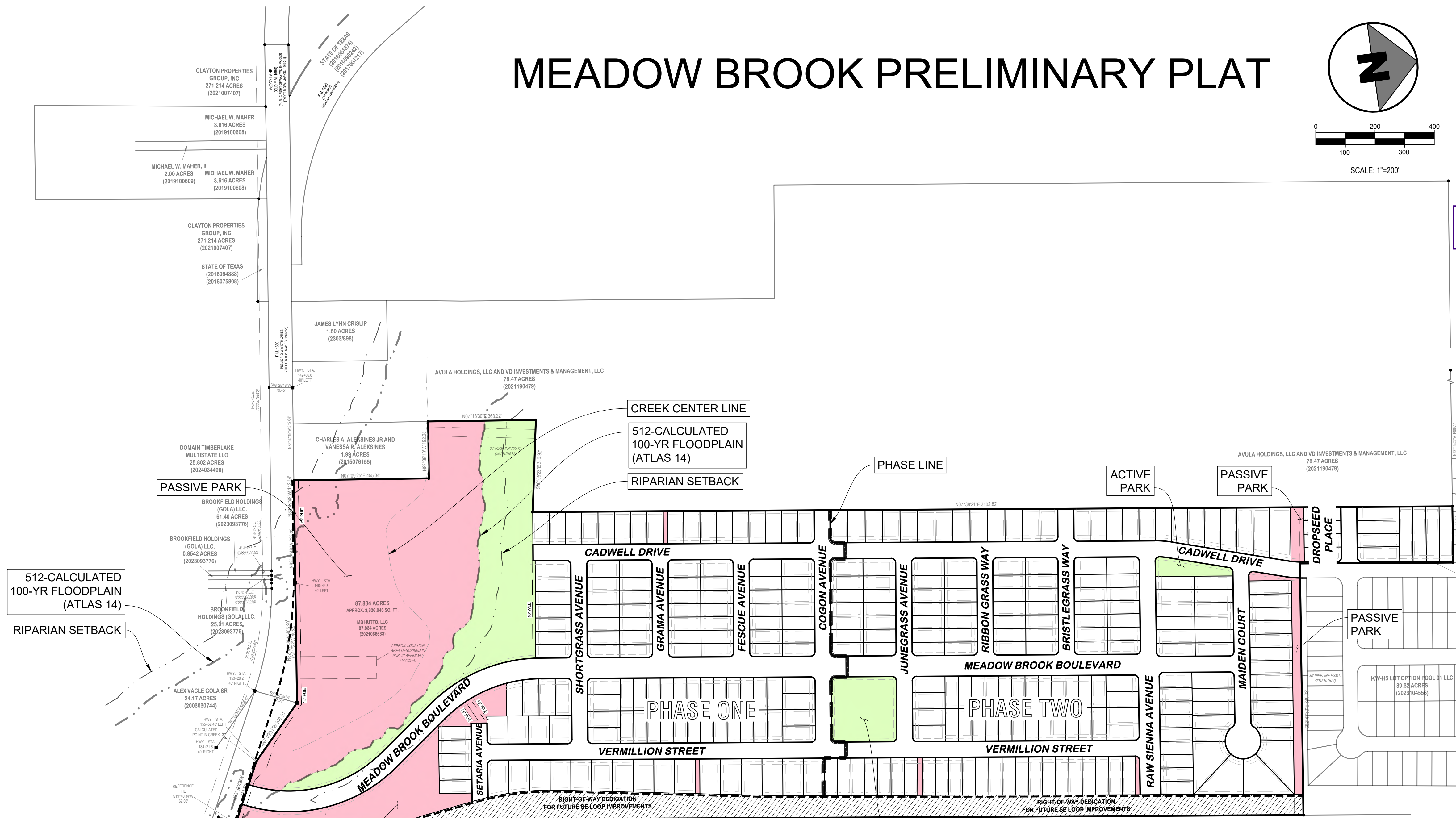
STREET NAME	CLASSIFICATION	ROW WIDTH	TREE ZONE	SIDWALK ZONE	TOTAL LENGTH (FT)	DRIVEWAY DISTANCE FROM CORNER
MEADOW BROOK BLVD	RES. COLLECTOR	70'	9' & 10'	8' & 5'	3539	125' / 50'
RAW SIENNA AVE	RES. COLLECTOR / STREET	70' / 54'	9' & 10' / 8'	8' & 5' / 5'	630	
CADWELL DR	RES. STREET	54'	8'	5'	3068	50'
VERMILLION ST	RES. STREET	54'	8'	5'	2262	50'
MAIDEN CT	RES. STREET	54'	8'	5'	612	50'
JUNEGRASS AVE	RES. STREET	54'	8'	5'	673	50'
COGON AVE	RES. STREET	54'	8'	5'	810	50'
SHORTGRASS AVE	RES. STREET	54'	8'	5'	673	50'
DROPSPEED PL	RES. STREET	54'	8'	5'	212	50'
BRISTLEGRASS WAY	RES. STREET	54'	8'	5'	528	50'
RIBBON GRASS WAY	RES. STREET	54'	8'	5'	391	50'
FESCUE AVE	RES. STREET	54'	8'	5'	391	50'
GRAMA AVE	RES. STREET	54'	8'	5'	391	50'
SETARIA AVE	RES. STREET	54'	8'	5'	257	50'

PLAT NOTES:

- NO BUILDING, FENCING, LANDSCAPING OR STRUCTURES ARE ALLOWED WITHIN ANY DRAINAGE EASEMENT UNLESS EXPRESSLY PERMITTED BY THE CITY OF HUTTO.
- BUILDING SETBACK LINES SHALL CONFORM TO UDC REQUIREMENTS, AS AMENDED.
- NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTION IS MADE TO PUBLIC WATER AND WASTEWATER UTILITIES.
- STREET LIGHTING SHALL BE PROVIDED BY THE DEVELOPER IN CONFORMANCE WITH THE UDC REQUIREMENTS, AS AMENDED.
- SIDWALKS SHALL BE CONSTRUCTED ON BOTH SIDES OF ALL STREETS WITHIN AND BOUNDING THIS SUBDIVISION, IN CONFORMANCE WITH THE UDC, AS AMENDED.
- TREES SHALL BE INSTALLED ON BOTH SIDES OF ALL STREETS WITHIN AND BOUNDING THIS SUBDIVISION, IN CONFORMANCE WITH THE UDC, AS AMENDED.
- WATER AND WASTEWATER SERVICE FOR THIS SUBDIVISION WILL BE AVAILABLE THROUGH THE CITY OF HUTTO AFTER THE APPROPRIATE WATER AND WASTEWATER SYSTEM IMPROVEMENTS ARE INSTALLED TO THIS SITE. THE CITY OF HUTTO ASSUMES NO OBLIGATIONS FOR INSTALLING ANY WATER AND WASTEWATER IMPROVEMENTS REQUIRED TO SERVE THIS SITE.
- IN ORDER TO PROMOTE DRAINAGE AWAY FROM A STRUCTURE, THE SLAB ELEVATION SHOULD BE BUILT AT LEAST ONE FOOT ABOVE THE SURROUNDING GROUND, AND THE GROUND SHOULD BE GRADED AWAY FROM THE STRUCTURE AT A SLOPE OF 1/4" PER FOOT FOR A DISTANCE OF AT LEAST 10 FEET.
- UTILITY PROVIDERS FOR THIS DEVELOPMENT ARE:
WATER: CITY OF HUTTO
WASTEWATER: CITY OF HUTTO
ELECTRIC: ONCOR
GAS (NATURAL OR PROPANE): ATMOS
- UTILITY NOTES:
WATER AND WASTEWATER WILL BE AVAILABLE THROUGH THE CITY OF HUTTO AFTER THE APPROPRIATE WATER AND WASTEWATER SYSTEMS ARE INSTALLED TO THIS SITE. THE CITY OF HUTTO ASSUMES NO OBLIGATIONS FOR INSTALLING ANY WATER AND WASTEWATER IMPROVEMENTS REQUIRED TO SERVE THIS SITE.

FLOODPLAIN NOTES:

- NO FENCES, STRUCTURES, STORAGE, OR FILL SHALL BE PLACED WITHIN THE LIMITS OF THE ULTIMATE 1% ANNUAL CHANCE FLOODPLAIN, UNLESS APPROVED BY THE CITY ENGINEER. FILL MAY ONLY BE PERMITTED BY THE CITY ENGINEER AFTER APPROVAL OF THE PROPER ANALYSIS.
- A PORTION OF THIS TRACT IS ENCLOSED BY SPECIAL FLOOD HAZARD AREAS INUNDATED BY THE 1% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED BY THE U.S. FEDERAL EMERGENCY MANAGEMENT AGENCY BOUNDARY MAP (FLOOD INSURANCE RATE MAP) COMMUNITY PANEL NUMBER 48491C0520F, EFFECTIVE DATE DECEMBER 20, 2019, FOR WILLIAMSON COUNTY, TEXAS.
- FINISH FLOOR ELEVATION FOR RESIDENTIAL LOTS ADJACENT TO THE PROPOSED/EXISTING PONDS, PROPOSED/EXISTING CHANNELS OR EXISTING 100-YR FLOODPLAIN SHALL BE A MINIMUM OF TWO (2) FEET ABOVE THE ULTIMATE 100-YEAR FLOODPLAIN OR 100-YEAR WATER SURFACE ELEVATION, WHICHEVER IS GREATER.
- ALL SUBDIVISION CONSTRUCTION SHALL CONFORM TO THE CITY OF HUTTO UNIFIED DEVELOPMENT CODE, CONSTRUCTION STANDARDS, AND GENERALLY ACCEPTED ENGINEERING PRACTICES.
- ON-SITE STORMWATER DETENTION FACILITIES WILL BE PROVIDED TO REDUCE POST-DEVELOPMENT PEAK RATES OF DISCHARGE OF THE 2, 10, 25 AND 100-YEAR STORM EVENTS.
- ALL EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER ASSIGNS.
- ALL DRAINAGE LOTS SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- AMENITY, OPEN SPACE AND GREENLINK LOTS WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- GREENLINK LOTS SHALL BE DEVELOPED IN CONFORMANCE WITH THE UDC, AS AMENDED.
- THIS SUBDIVISION IS ZONED PUD PER ORDINANCE NO. 0-2024-051.
- THIS PRELIMINARY PLAT CONFORMS TO THE CONCEPTUAL PLAN IN PLANNED UNIT DEVELOPMENT MEADOW BROOK PUD AS APPROVED BY CITY COUNCIL ON SEPTEMBER 5, 2024.
- ALL LOTS IN THIS SUBDIVISION ARE RESTRICTED TO SINGLE FAMILY RESIDENTIAL USE, UNLESS OTHERWISE INDICATED.
- THE MAXIMUM IMPERVIOUS COVERAGE PER RESIDENTIAL LOT IS 60%.
- A SECOND POINT OF ACCESS, MEETING ALL CRITERIA OF THE MOST RECENTLY ADOPTED FIRE CODE, AS AMENDED, SHALL BE REQUIRED ON ALL PLATS OF RESIDENTIAL SUBDIVISIONS CONTAINING MORE THAN 29 DWELLING UNITS.
- FIRE LANE STRIPING SHALL BE POSTED ON ONE SIDE OF THE STREET FOR STREETS MORE THAN 26 FEET WIDE AND LESS THAN 32 FEET WIDE.



LOCATION MAP
SCALE: 1"=3000'

Date

Description

Rev

6/23/2025

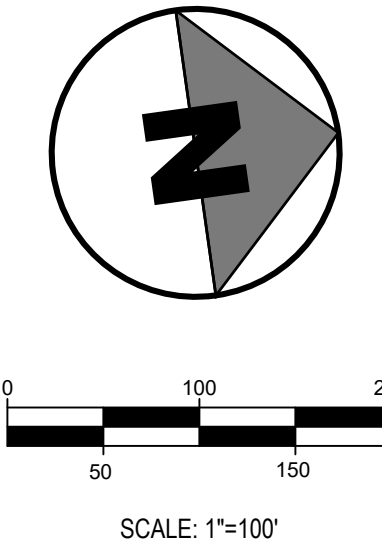
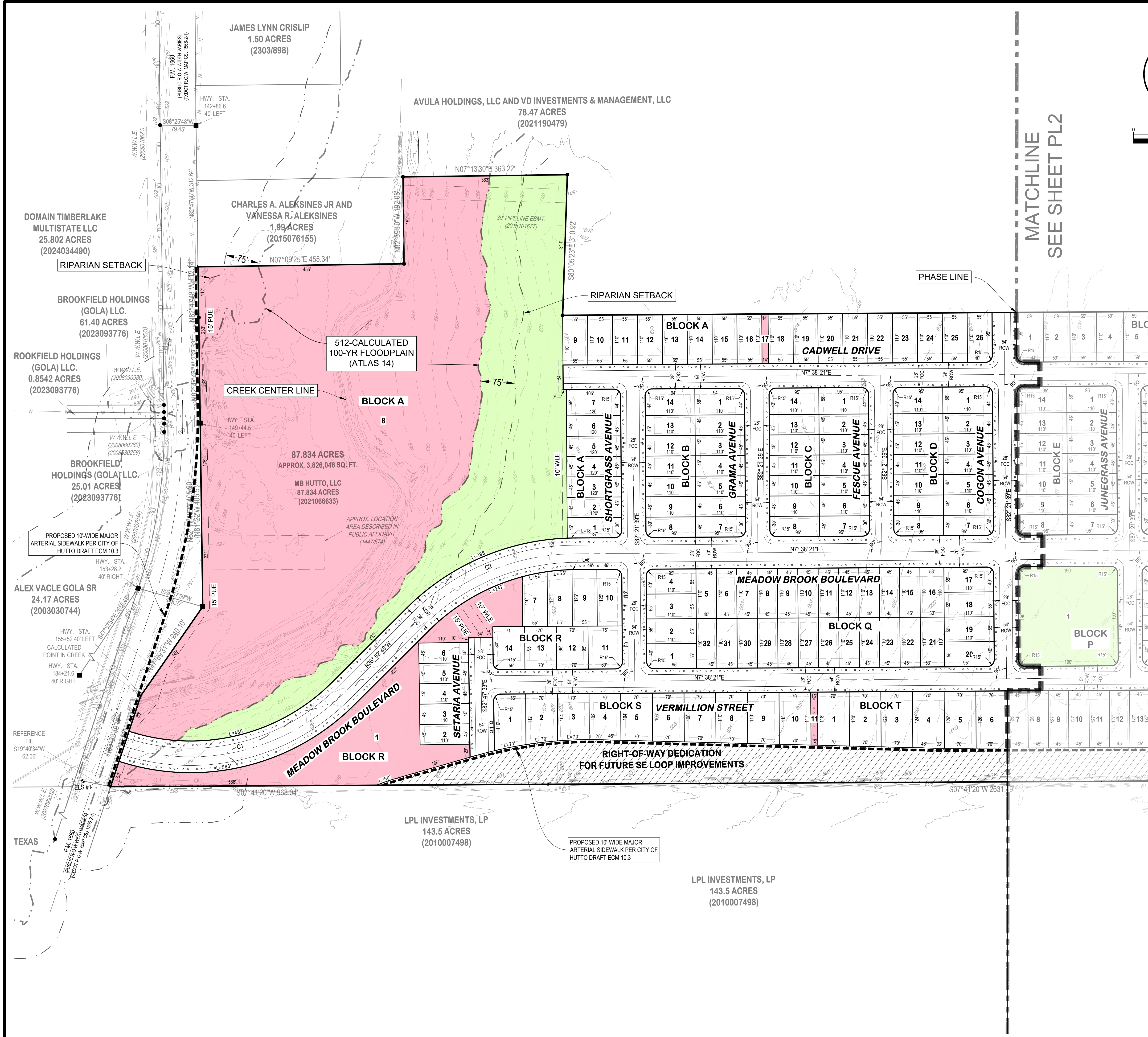
512 CIVIL

3839 BEE CAVE ROAD
SUITE 201
AUSTIN, TX 78746
F-26366

MEADOW BROOK PRELIMINARY PLAT
HUTTO, TEXAS
COVER SHEET

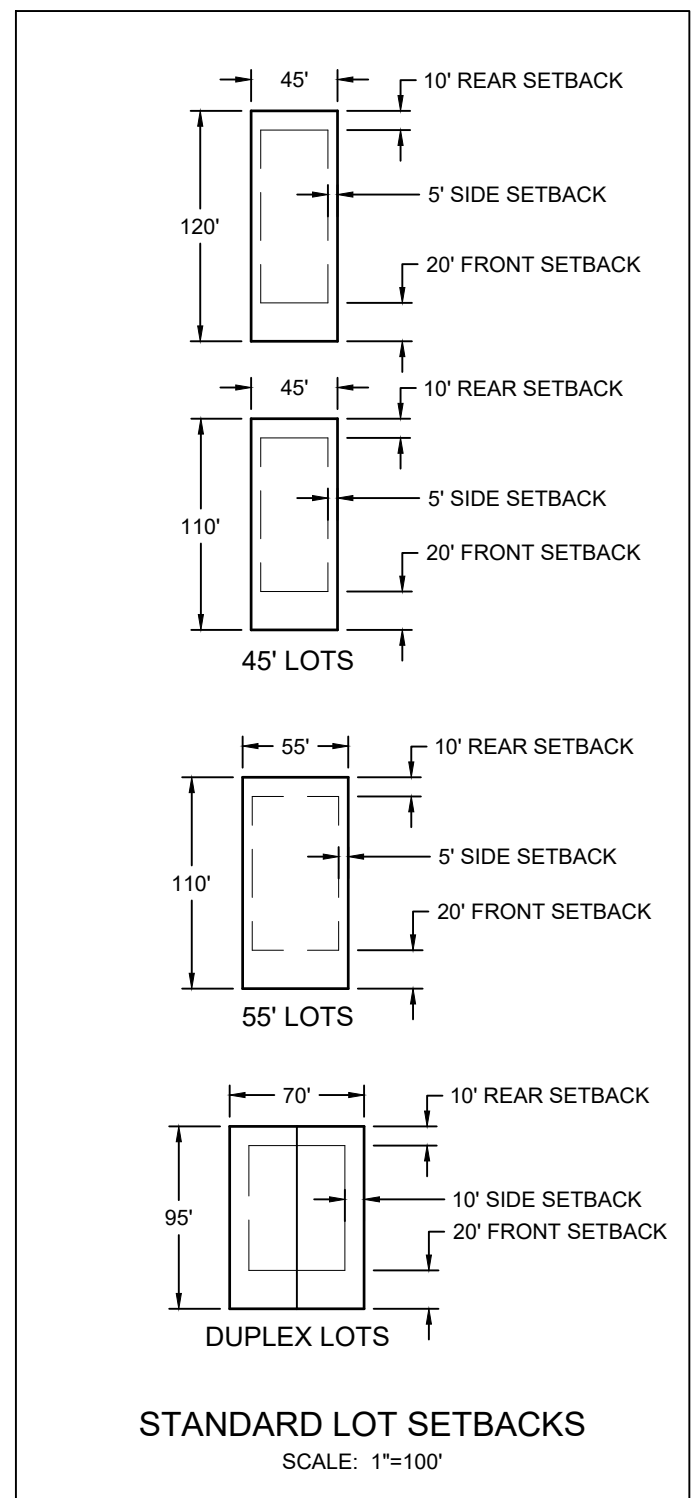
PLO
1
11

0005-001



LEGEND:

- ELS #1 POINT OF BEGINNING / BENCHMARK
- PROPOSED BOUNDARY
- PROPOSED RIGHT-OF-WAY (ROW)
- PROPOSED LOT LINE
- EASEMENT
- 512-CALCULATED 100-YR FLOODPLAIN
- RIPARIAN SETBACK
- CREEK CENTERLINE
- PROPOSED FACE OF CURB (FOC)
- PROPOSED SIDEWALK
- ACTIVE PARK
- PASSIVE PARK / OPEN SPACE

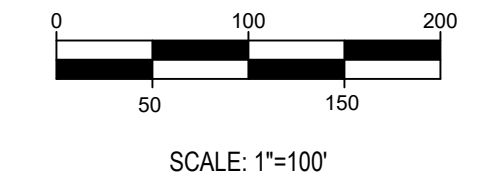
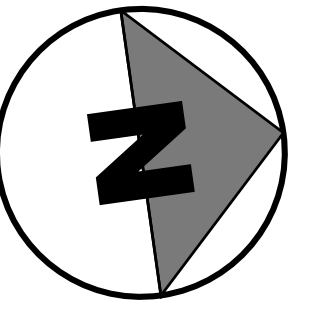
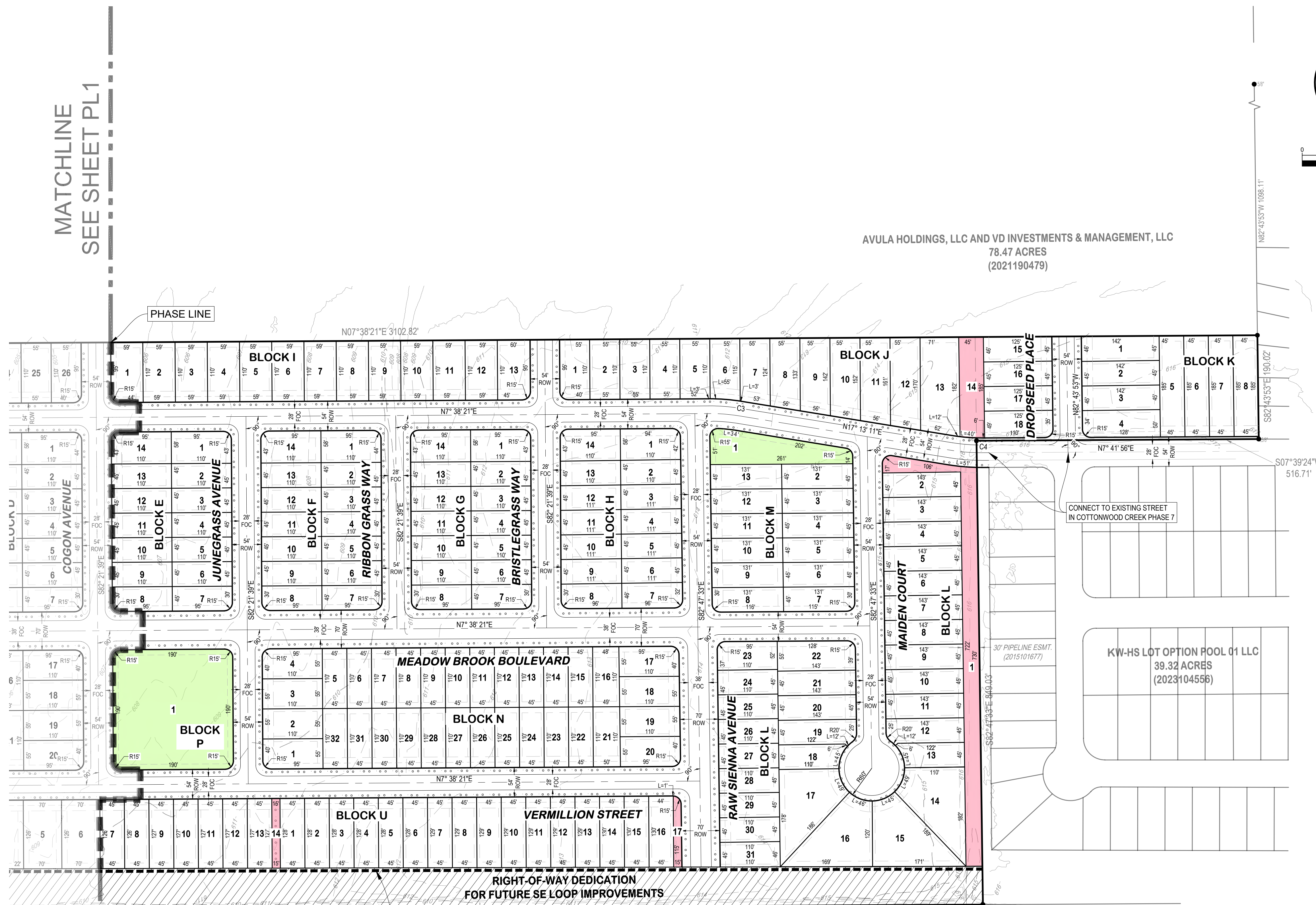


Curve Table

Curve #	Radius (ft)	Length (ft)	Chord Direction	Chord Length (ft)	Delta Angle
C1	476.71	523.96	N5° 29' 00"W	497.98	62° 58' 33"
C2	500.00	388.50	N14° 37' 13"W	378.80	44° 31' 09"

<p>512 CIVIL</p> <p>3839 BEE CAVE ROAD SUITE 201 AUSTIN, TX 78746 F-26366</p> <p>5/30/2025</p> <p>SCOTT J. ANDERSON REGISTERED PROFESSIONAL ENGINEER No. 147141</p>	<p>Date</p> <p>Description</p> <p>Rev</p>
<p>MEADOW BROOK PRELIMINARY PLAT</p> <p>HUTTO, TEXAS</p> <p>PRELIMINARY PLAT SHEET 1 OF 2</p>	
<p>PL1</p> <p>2</p> <p>11</p>	
<p>0005-001</p>	

MATCHLINE
SEE SHEET PL1



LEGEND:

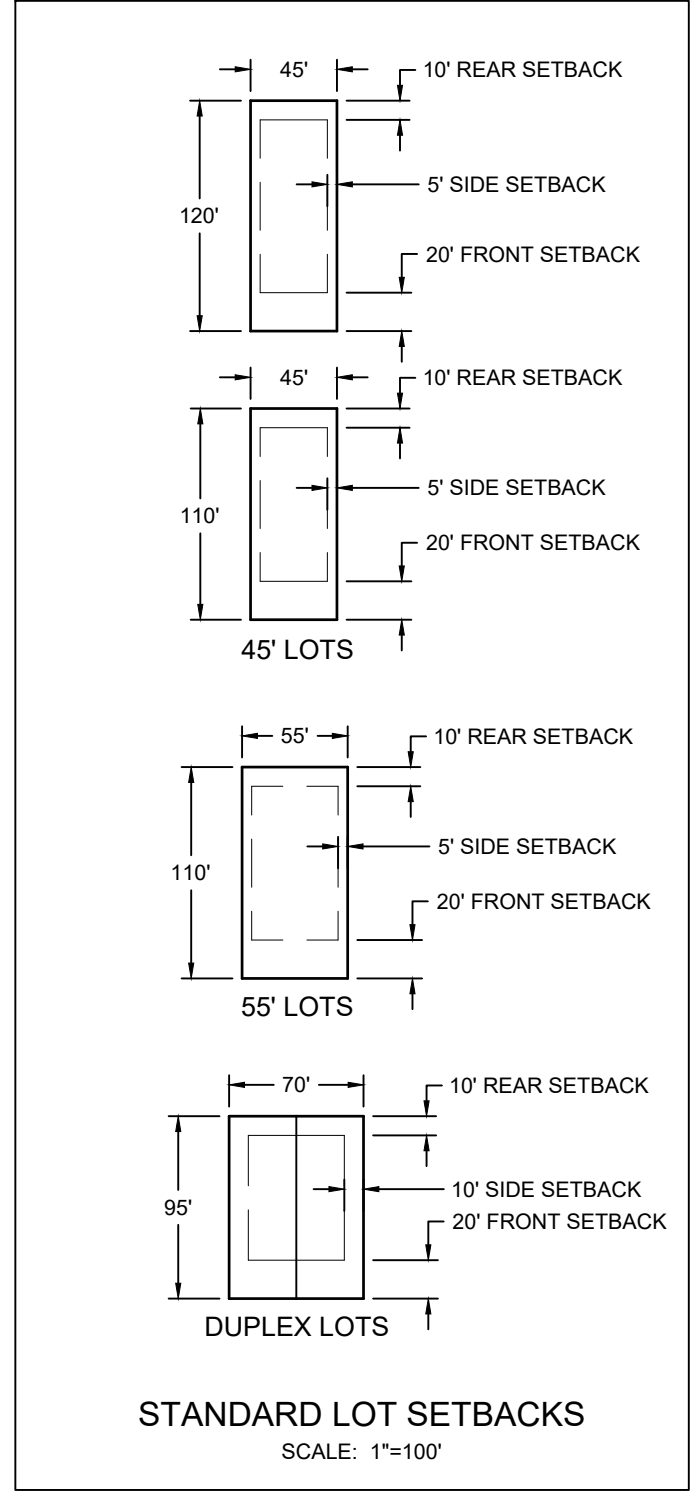
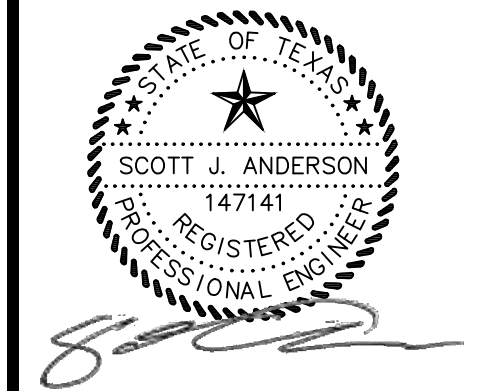
- ↖ ELS #1 POINT OF BEGINNING / BENCHMARK
- PROPOSED BOUNDARY
- PROPOSED RIGHT-OF-WAY (ROW)
- PROPOSED LOT LINE
- - - EASEMENT
- · - · - 512-CALCULATED 100-YR FLOODPLAIN
- · - · - RIPARIAN SETBACK
- - - CREEK CENTERLINE
- PROPOSED FACE OF CURB (FOC)
- · - · - PROPOSED SIDEWALK
- ACTIVE PARK
- PASSIVE PARK / OPEN SPACE

AVULA HOLDINGS, LLC AND VD INVESTMENTS & MANAGEMENT, LLC
78.47 ACRES
(2021190479)



3839 BEE CAVE ROAD
SUITE 201
AUSTIN, TX 78746
F-26366

5/30/2025



STANDARD LOT SETBACKS
SCALE: 1"=100'

Curve Table					
Curve #	Radius (ft)	Length (ft)	Chord Direction	Chord Length (ft)	Delta Angle
C3	300.00	50.16	N12° 25' 46"E	50.10	9°34'49"
C4	293.08	48.70	N12° 27' 33"E	48.64	9°31'15"

PROPOSED 10'-WIDE MAJOR
ARTERIAL SIDEWALK PER CITY OF
HUTTO DRAFT EOM 10.3

LPL INVESTMENTS, LP
143.5 ACRES
(2010007498)

RIGHT-OF-WAY DEDICATION
FOR FUTURE SE LOOP IMPROVEMENTS

Rev	Description	Date

MEADOW BROOK PRELIMINARY PLAT

HUTTO, TEXAS

PRELIMINARY PLAT SHEET 2 OF 2

PL2

3

11

0005-001

Lot Area Table				
Lot #	Area (Sq Ft)	Area (Acres)	Block #	Non-residential Use
1	5353	0.12	BLOCK A	
2	5400	0.12	BLOCK A	
3	5400	0.12	BLOCK A	
4	5400	0.12	BLOCK A	
5	5400	0.12	BLOCK A	
6	5400	0.12	BLOCK A	
7	6972	0.16	BLOCK A	
8	758366	17.41	BLOCK A	Park / Open Space
9	6054	0.14	BLOCK A	
10	6050	0.14	BLOCK A	
11	6050	0.14	BLOCK A	
12	6050	0.14	BLOCK A	
13	6050	0.14	BLOCK A	
14	6050	0.14	BLOCK A	
15	6050	0.14	BLOCK A	
16	6050	0.14	BLOCK A	
17	1540	0.04	BLOCK A	Open Space
18	6050	0.14	BLOCK A	
19	6050	0.14	BLOCK A	
20	6050	0.14	BLOCK A	
21	6050	0.14	BLOCK A	
22	6050	0.14	BLOCK A	
23	6050	0.14	BLOCK A	
24	6050	0.14	BLOCK A	
25	6050	0.14	BLOCK A	
26	6008	0.14	BLOCK A	

Lot Area Table				
Lot #	Area (Sq Ft)	Area (Acres)	Block #	Non-residential Use
1	6385	0.15	BLOCK B	
2	4949	0.11	BLOCK B	
3	4949	0.11	BLOCK B	
4	4949	0.11	BLOCK B	
5	4949	0.11	BLOCK B	
6	4950	0.11	BLOCK B	
7	4902	0.11	BLOCK B	
8	4902	0.11	BLOCK B	
9	4950	0.11	BLOCK B	
10	4951	0.11	BLOCK B	
11	4951	0.11	BLOCK B	
12	4951	0.11	BLOCK B	
13	4951	0.11	BLOCK B	
14	6389	0.15	BLOCK B	

Lot Area Table				
Lot #	Area (Sq Ft)	Area (Acres)	Block #	Non-residential Use
1	6387	0.15	BLOCK C	
2	4950	0.11	BLOCK C	
3	4950	0.11	BLOCK C	
4	4950	0.11	BLOCK C	
5	4950	0.11	BLOCK C	
6	4950	0.11	BLOCK C	
7	4902	0.11	BLOCK C	
8	4902	0.11	BLOCK C	
9	4950	0.11	BLOCK C	
10	4950	0.11	BLOCK C	
11	4950	0.11	BLOCK C	
12	4950	0.11	BLOCK C	
13	4950	0.11	BLOCK C	
14	6387	0.15	BLOCK C	

Lot Area Table				
Lot #	Area (Sq Ft)	Area (Acres)	Block #	Non-residential Use
1	6387	0.15	BLOCK D	
2	4950	0.11	BLOCK D	
3	4950	0.11	BLOCK D	
4	4950	0.11	BLOCK D	
5	4950	0.11	BLOCK D	
6	4950	0.11	BLOCK D	
7	4902	0.11	BLOCK D	
8	4902	0.11	BLOCK D	
9	4950	0.11	BLOCK D	
10	4950	0.11	BLOCK D	
11	4950	0.11	BLOCK D	
12	4950	0.11	BLOCK D	
13	4950	0.11	BLOCK D	
14	6387	0.15	BLOCK D	

Lot Area Table				
Lot #	Area (Sq Ft)	Area (Acres)	Block #	Non-residential Use
1	6387	0.15	BLOCK E	
2	4950	0.11	BLOCK E	
3	4950	0.11	BLOCK E	
4	4950	0.11	BLOCK E	
5	4950	0.11	BLOCK E	
6	4950	0.11	BLOCK E	
7	4902	0.11	BLOCK E	
8	4902	0.11	BLOCK E	
9	4950	0.11	BLOCK E	
10	4950	0.11	BLOCK E	
11	4950	0.11	BLOCK E	
12	4950	0.11	BLOCK E	
13	4950	0.11	BLOCK E	
14	6387	0.15	BLOCK E	

Lot Area Table				
Lot #	Area (Sq Ft)	Area (Acres)	Block #	Non-residential Use
1	6387	0.15	BLOCK F	
2	4950	0.11	BLOCK F	
3	4950	0.11	BLOCK F	
4	4950	0.11	BLOCK F	
5	4950	0.11	BLOCK F	
6	4950	0.11	BLOCK F	
7	4902	0.11	BLOCK F	
8	4902	0.11	BLOCK F	
9	4950	0.11	BLOCK F	
10	4950	0.11	BLOCK F	
11	4950	0.11	BLOCK F	
12	4950	0.11	BLOCK F	
13	4950	0.11	BLOCK F	
14	6387	0.15	BLOCK F	

Lot Area Table				
Lot #	Area (Sq Ft)	Area (Acres)	Block #	Non-residential Use
1	6387	0.15	BLOCK G	
2	4950	0.11	BLOCK G	
3	4950	0.11	BLOCK G	
4	4950	0.11	BLOCK G	
5	4950	0.11	BLOCK G	
6	4950	0.11	BLOCK G	
7	4902	0.11	BLOCK G	
8	4902	0.11	BLOCK G	
9	4950	0.11	BLOCK G	
10	4950	0.11	BLOCK G	
11	4950	0.11	BLOCK G	
12	4950	0.11	BLOCK G	
13	4950	0.11	BLOCK G	
14	6387	0.15	BLOCK G	

Lot Area Table				
Lot #	Area (Sq Ft)	Area (Acres)	Block #	Non-residential Use
1	6256	0.14	BLOCK H	
2	4964	0.11	BLOCK H	
3	4971	0.11	BLOCK H	
4	4979	0.11	BLOCK H	
5	4986	0.11	BLOCK H	
6	4994	0.11	BLOCK H	
7	5092	0.12	BLOCK H	
8	5000	0.11	BLOCK H	
9	4994	0.11	BLOCK H	
10	4987	0.11	BLOCK H	
11	4979	0.11	BLOCK H	
12	4971	0.11	BLOCK H	
13	4964	0.11	BLOCK H	
14	6346	0.15	BLOCK H	

Lot Area Table				
Lot #	Area (Sq Ft)	Area (Acres)	Block #	Non-residential Use
1	6442	0.15	BLOCK I	
2	6490	0.15	BLOCK I	
3	6490	0.15	BLOCK I	
4	6490	0.15	BLOCK I	
5	6490	0.15	BLOCK I	
6	6490	0.15	BLOCK I	
7	6490	0.15	BLOCK I	
8	6490	0.15	BLOCK I	
9	6490	0.15	BLOCK I	
10	6490	0.15	BLOCK I	
11	6490	0.15	BLOCK I	
12	6490	0.15	BLOCK I	
13	6552	0.15	BLOCK I	

Lot Area Table				
Lot #	Area (Sq Ft)	Area (Acres)	Block #	Non-residential Use
1	6002	0.14	BLOCK J	
2	6050	0.14	BLOCK J	
3	6050	0.14	BLOCK J	
4	6050	0.14	BLOCK J	
5	6050	0.14	BLOCK J	
6	6138	0.14	BLOCK J	
7	6558	0.15	BLOCK J	
8	7069	0.16	BLOCK J	
9	7579	0.17	BLOCK J	
10	8090	0.19	BLOCK J	
11	8600	0.20	BLOCK J	
12	9111	0.21	BLOCK J	
13	12601	0.29	BLOCK J	
14	8292	0.19	BLOCK J	Open Space
15	5689	0.13	BLOCK J	
16	5638	0.13	BLOCK J	
17	5638	0.13	BLOCK J	
18	6152	0.14	BLOCK J	

Lot Area Table				
Lot #	Area (Sq Ft)	Area (Acres)	Block #	Non-residential Use
1	6476	0.15	BLOCK K	
2	6411	0.15	BLOCK K	
3	6411	0.15	BLOCK K	
4	7024	0.16	BLOCK K	
5	8334	0.19	BLOCK K	
6	8336	0.19	BLOCK K	
7	8338	0.19	BLOCK K	
8	8341	0.19	BLOCK K	

Lot Area Table				
Lot #	Area (Sq Ft)	Area (Acres)	Block #	Non-residential Use
1	25014	0.57	BLOCK L	Open Space
2	6435	0.15	BLOCK L	
3	6435	0.15	BLOCK L	
4	6435	0.15	BLOCK L	
5	6435	0.15	BLOCK L	
6	6435	0.15	BLOCK L	
7	6435	0.15	BLOCK L	
8	6435	0.15	BLOCK L	
9	6435	0.15	BLOCK L	
10	6435	0.15	BLOCK L	
11	6435	0.15	BLOCK L	
12	6375	0.15	BLOCK L	
13	5213	0.12	BLOCK L	
14	13961	0.32	BLOCK L	
15	14035	0.32	BLOCK L	
16	13868	0.32	BLOCK L	
17	13683	0.31	BLOCK L	
18	5213	0.12	BLOCK L	
19	6375	0.15	BLOCK L	
20	6435	0.15	BLOCK L	
21	6435	0.15	BLOCK L	
22	7711	0.18	BLOCK L	
23	5679	0.13	BLOCK L	
24	4950	0.11	BLOCK L	
25	4950	0.11	BLOCK L	
26	4950	0.11	BLOCK L	
27	4950	0.11	BLOCK L	
28	4950	0.11	BLOCK L	
29	4950	0.11	BLOCK L	
30	4950	0.11	BLOCK L	
31	5018	0.12	BLOCK L	

Lot Area Table				
Lot #	Area (Sq Ft)	Area (Acres)	Block #	Non-residential Use
1	6002	0.14	BLOCK N	
2	6050	0.14	BLOCK N	
3	6050	0.14	BLOCK N	
4	6002	0.14	BLOCK N	
5	4950	0.11	BLOCK N	
6	4950	0.11	BLOCK N	
7	4950	0.11	BLOCK N	
8	4950	0.11	BLOCK N	
9	4950	0.11	BLOCK N	
10	4950	0.11	BLOCK N	
11	4950	0.11	BLOCK N	
12	4950	0.11	BLOCK N	
13	4950	0.11	BLOCK N	
14	4950	0.11	BLOCK N	
15	4950	0.11	BLOCK N	
16	5326	0.12	BLOCK N	
17	6003	0.14	BLOCK N	
18	6050	0.14	BLOCK N	
19	6050	0.14	BLOCK N	
20	6001	0.14	BLOCK N	
21	5417	0.12	BLOCK N	
22	4950	0.11	BLOCK N	
23	4950	0.11	BLOCK N	
24	4950	0.11	BLOCK N	
25	4950	0.11	BLOCK N	
26	4950	0.11	BLOCK N	
27	4950	0.11	BLOCK N	
28	4950	0.11	BLOCK N	
29	4950	0.11	BLOCK N	
30	4950	0.11	BLOCK N	
31	4950	0.11	BLOCK N	
32	4950	0.11	BLOCK N	

Lot Area Table				
Lot #	Area (Sq Ft)	Area (Acres)	Block #	Non-residential Use
1	6002	0.14	BLOCK Q	
2	6050	0.14	BLOCK Q	
3	6050	0.14	BLOCK Q	
4	6002	0.14	BLOCK Q	
5	4950	0.11	BLOCK Q	
6	4950	0.11	BLOCK Q	
7	4950	0.11	BLOCK Q	
8	4950	0.11	BLOCK Q	
9	4950	0.11	BLOCK Q	
10	4950	0.11	BLOCK Q	
11	4950	0.11	BLOCK Q	
12	4950	0.11	BLOCK Q	
13	4950	0.11	BLOCK Q	
14	4950	0.11	BLOCK Q	
15	4950	0.11	BLOCK Q	
16	5830	0.13	BLOCK Q	
17	6002	0.14	BLOCK Q	
18	6050	0.14	BLOCK Q	
19	6050	0.14	BLOCK Q	
20	6002	0.14	BLOCK Q	
21	5830	0.13	BLOCK Q	
22	4950	0.11	BLOCK Q	
23	4950	0.11	BLOCK Q	
24	4950	0.11	BLOCK Q	
25	4950	0.11	BLOCK Q	
26	4950	0.11	BLOCK Q	
27	4950	0.11	BLOCK Q	
28	4950	0.11	BLOCK Q	
29	4950	0.11	BLOCK Q	
30	4950	0.11	BLOCK Q	
31	4950	0.11	BLOCK Q	
32	4950	0.11	BLOCK Q	

THIS IS A SURFACE DRAWING.

BEARING BASIS: THE TEXAS COORDINATE SYSTEM OF 1983 (NAD83), CENTRAL ZONE, BASED ON GPS OBSERVATIONS ON EARLY LAND SURVEYING CONTROL POINT "ELS #1"

MAG NAIL WITH WASHER SET IN CONCRETE FOOTING ALONG THE SOUTHWEST SIDE OF F.M. 1660 APPROX. 67' SOUTH OF A POWER POLE FOUND AT THE SOUTHEAST END OF THE SUBJECT TRACT AND APPROX. 2.5' EAST OF THE END OF A GUARDRAIL LOCATED ALONG THE SOUTHWEST SIDE OF THE ROAD.

SURFACE COORDINATES:
N 10162314.42
E 3180590.24

TEXAS STATE PLANE COORDINATES:
N 10161095.08
E 3180208.61

ELEVATION = 593.93'
VERTICAL DATUM: NAVD 88 (GEOID 12B)

COMBINED SCALE FACTOR = 0.999880014
(FOR SURFACE TO GRID CONVERSION)

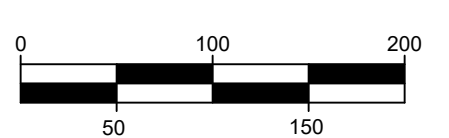
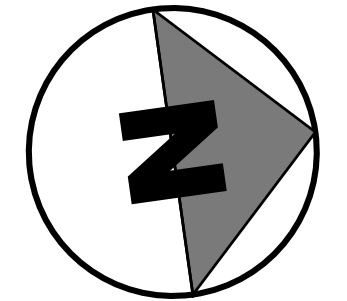
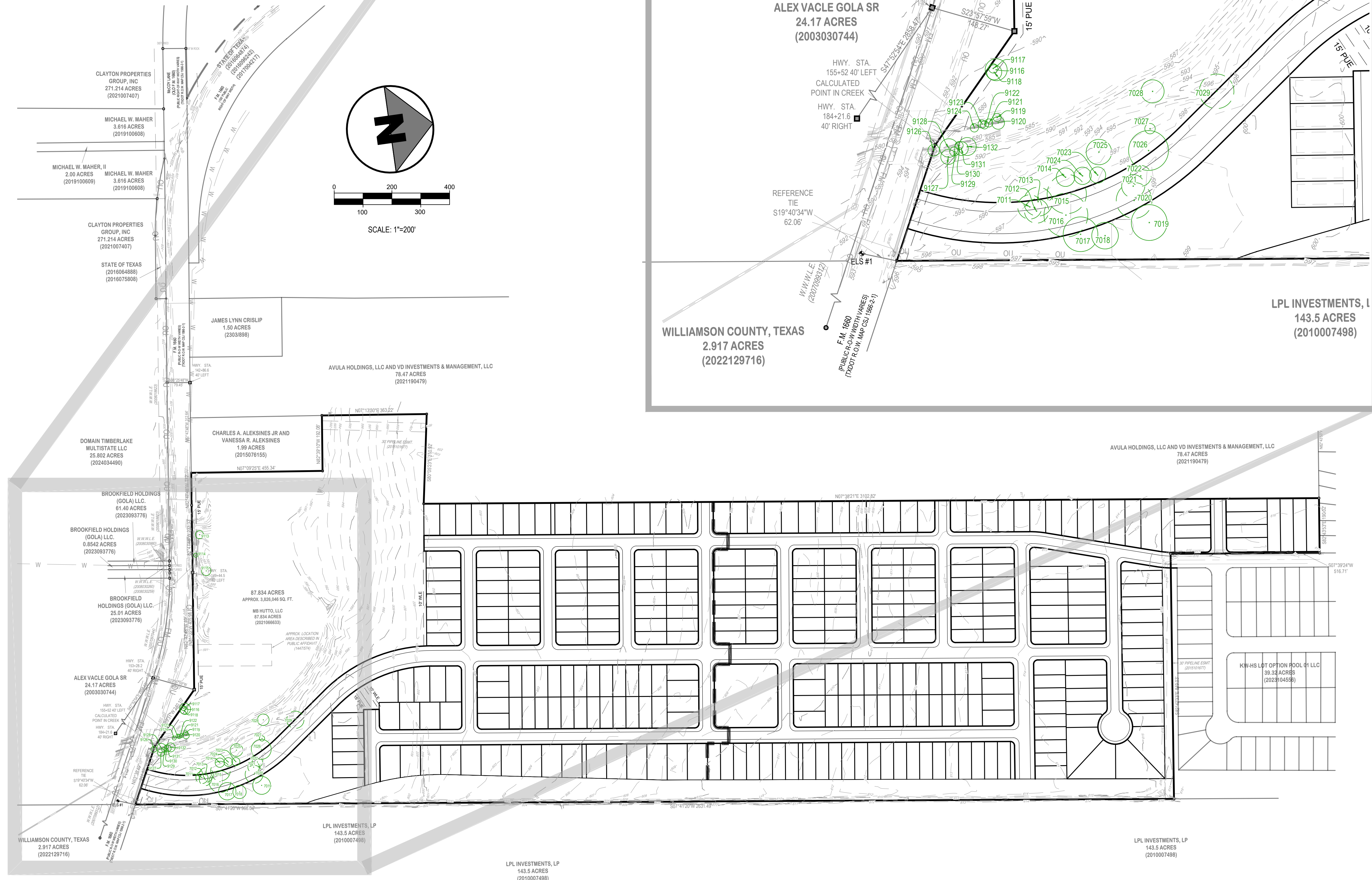
INVERSE SCALE FACTOR = 1.000120
(FOR GRID TO SURFACE CONVERSION)

SCALED ABOUT 0.0
THETA ANGLE: 1°26'43"

SURVEYOR:
EARLY LAND SURVEYING, LLC
P.O. BOX 92586
AUSTIN, TEXAS 78709
(512) 202-8631
TBPELS FIRM NO. 10194487
JOE BEN EARLY, JR.

- THE FIELD WORK FOR BOUNDARY WAS COMPLETED ON 12/15/20.
- THE FIELD WORK FOR TOPOGRAPHY AND TREES WAS COMPLETED ON 12/18/23.
- FIELD LOCATED ADDITIONAL WASTEWATER FACILITIES ON SOUTH SIDE OF F.M. 1660 AND ADDED TO SURVEY ON 4/23/24.
- ADDITIONAL AREAS ON SOUTH SIDE OF F.M. 1660 SURVEYED ON 6/14/24.
- ADDITIONAL AREA ON NORTH SIDE OF F.M. 1660 SURVEYED ON 8/1/24.

NOTE:
ALL APPLICABLE TREES WITHIN THE PROPERTY BOUNDARY ARE SHOWN.



SCALE: 1"=100'

TREE INDEX			
TAG NO.	TYPE	INDICATES	MULTI TRUNK
514	LO	17	14 11
INDIVIDUAL TRUNK DIA. (IN INCHES)		TOTAL (ROOT ZONE)	
100 CEDAR		TREE TO BE SAVED	
-101- CEDAR		TREE TO BE REMOVED	

TREE LIST

- 7011 LIVE OAK 21
- 7012 LIVE OAK 21
- 7013 LIVE OAK 25 - HERITAGE
- 7014 PECAN 16
- 7015 COTTONWOOD 34 - PROTECTED
- 7016 COTTONWOOD 38 - PROTECTED
- 7017 LIVE OAK 30 - HERITAGE
- 7018 LIVE OAK 23
- 7019 COTTONWOOD 31 - PROTECTED
- 7020 COTTONWOOD 31 - PROTECTED
- 7021 PECAN 20
- 7022 AMERICAN ELM 18
- 7023 COTTONWOOD 14
- 7024 COTTONWOOD 15
- 7025 LIVE OAK 22
- 7026 PECAN 19 19 12 (34.5) - HERITAGE
- 7027 PECAN 9
- 7028 PECAN 20
- 7029 PECAN 30 - HERITAGE
- 9113 AMERICAN ELM 14
- 9114 PECAN 7
- 9115 WILLOW 16
- 9116 PECAN 13 12 (19) - PROTECTED
- 9117 PECAN 8
- 9118 PECAN 9 8 (13)
- 9119 CEDAR ELM 7
- 9120 AMERICAN ELM 11
- 9121 CEDAR ELM 7
- 9122 AMERICAN ELM 7
- 9123 AMERICAN ELM 7
- 9124 AMERICAN ELM 7
- 9126 COTTONWOOD 10
- 9127 AMERICAN ELM 13
- 9128 BOX ELDER 16
- 9129 CEDAR ELM 8
- 9130 AMERICAN ELM 7
- 9131 CEDAR ELM 12
- 9132 CEDAR ELM 11 9 (15.5)

Rev	Description	Date



3839 BEE CAVE ROAD
SUITE 201
AUSTIN, TX 78746
F-26366

5/30/2025

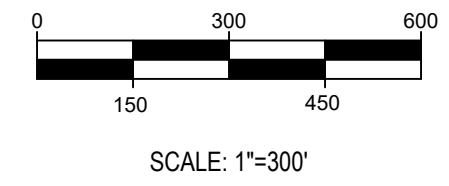
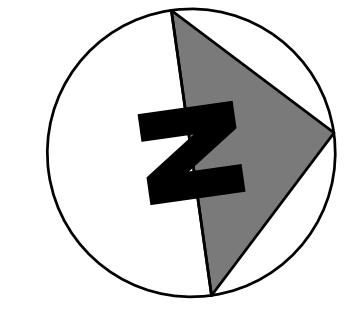
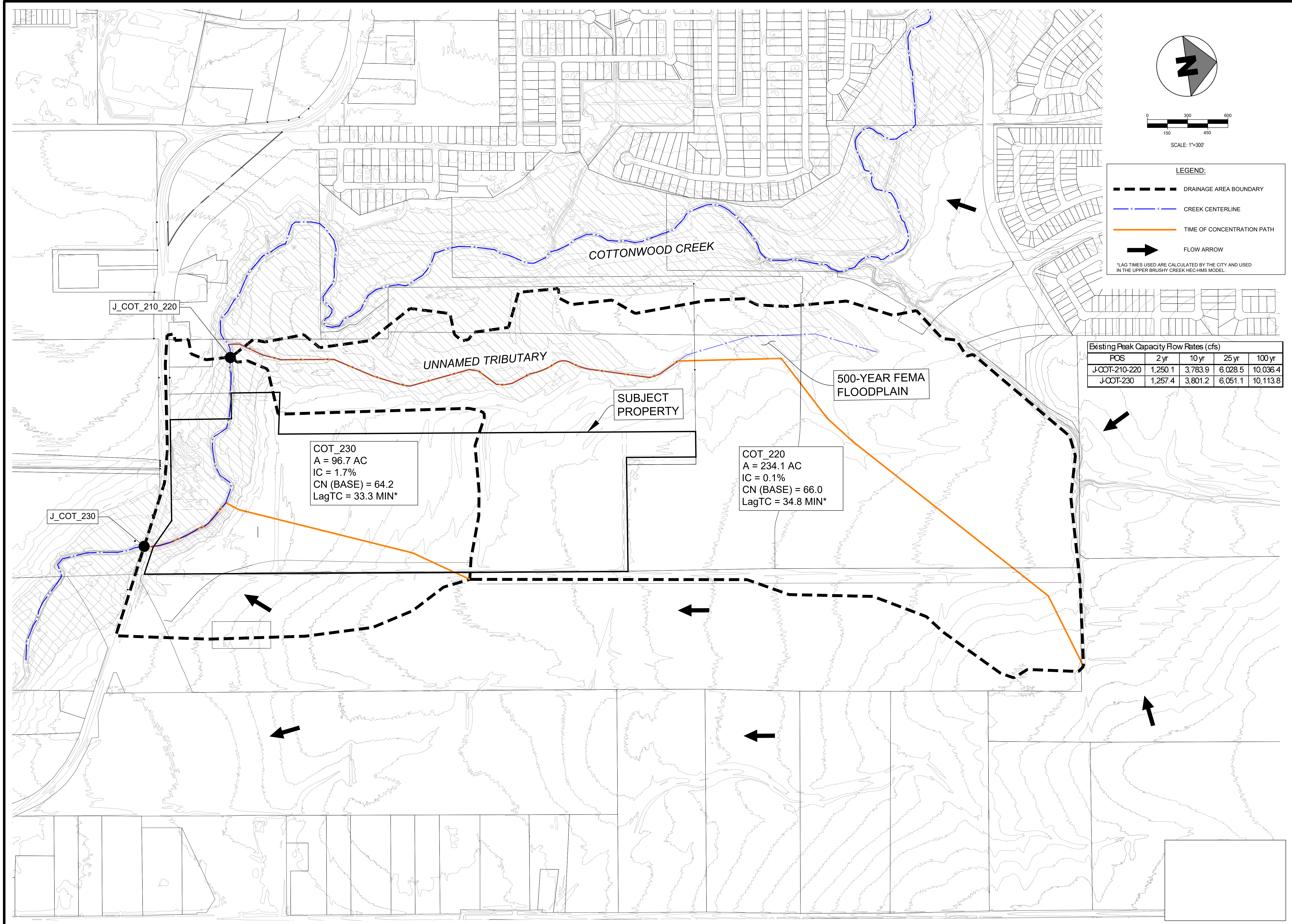


MEADOW BROOK PRELIMINARY PLAT
HUTTO, TEXAS
TREE SURVEY

TS0
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0005-001

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LEGEND:

- DRAINAGE AREA BOUNDARY
- CREEK CENTERLINE
- TIME OF CONCENTRATION PATH
- FLOW ARROW

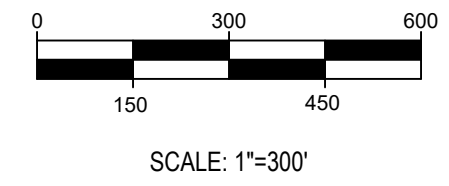
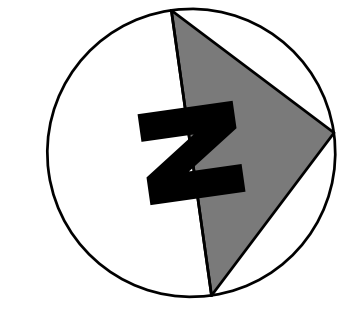
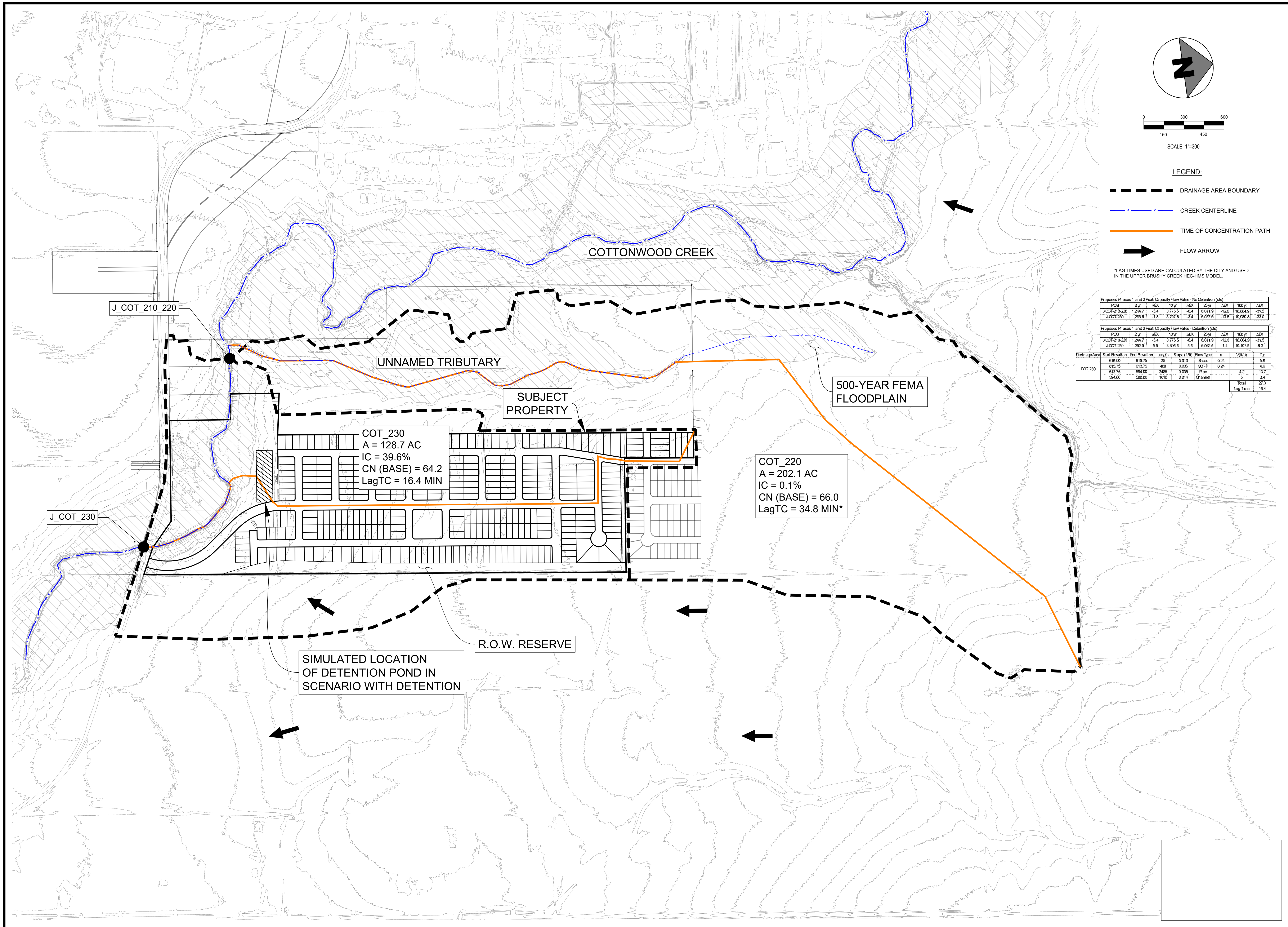
*LAG TIMES USED ARE CALCULATED BY THE CITY AND USED IN THE UPPER BRUSHY CREEK HEC-HMS MODEL.

Existing Peak Capacity Flow Rates (cfs)

POS	2 yr	10 yr	25 yr	100 yr
J-COT-210-220	1,250.1	3,783.9	6,028.5	10,036.4
J-COT-230	1,257.4	3,801.2	6,051.1	10,113.8

Date	
Description	
Rev	
3839 BEE CAVE ROAD SUITE 201 AUSTIN, TX 78746 F-26366	
5/30/2025	
MEADOW BROOK PRELIMINARY PLAT HUTTO, TEXAS EXISTING DRAINAGE AREA LAYOUT	
DM1	
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LEGEND:

- DRAINAGE AREA BOUNDARY
- CREEK CENTERLINE
- TIME OF CONCENTRATION PATH
- ➔ FLOW ARROW

*LAG TIMES USED ARE CALCULATED BY THE CITY AND USED IN THE UPPER BRUSHY CREEK HEC-HMS MODEL.

Proposed Phase 1 and 2 Peak Capacity Flow Rates - No Detention (cfs)								
PCS	2yr	ΔEX	10yr	ΔEX	25yr	ΔEX	100yr	ΔEX
JCOT-210-220	1,244.7	-5.4	3,775.5	-8.4	6,011.9	-18.6	10,004.9	-31.5
JCOT-220	1,259.6	-1.8	3,797.8	-3.4	6,037.6	-13.5	10,060.8	-33.0

Proposed Phase 1 and 2 Peak Capacity Flow Rates - Detention (cfs)								
PCS	2yr	ΔEX	10yr	ΔEX	25yr	ΔEX	100yr	ΔEX
JCOT-210-220	1,244.7	-5.4	3,775.5	-8.4	6,011.9	-18.6	10,004.9	-31.5
JCOT-220	1,262.9	5.5	3,806.8	5.6	6,062.5	1.4	10,107.5	-6.3

Drainage Area	Start Elevation	End Elevation	Length	Slope (ft/ft)	Flow Type	n	V(1/s)	T _c
COT_220	616.00	615.75	25	0.010	Sheet	0.34		5.6
	615.75	613.75	400	0.005	32-F	0.24		4.9
	613.75	594.00	3465	0.006	Pipe			4.2
	594.00	580.00	1010	0.014	Channel			5
								27.3
								16.4

Date	Description	Rev

512 CIVIL

3839 BEE CAVE ROAD
SUITE 201
AUSTIN, TX 78746
F-26366

5/30/2025

SCOTT J. ANDERSON
REGISTERED PROFESSIONAL ENGINEER
No. 147141

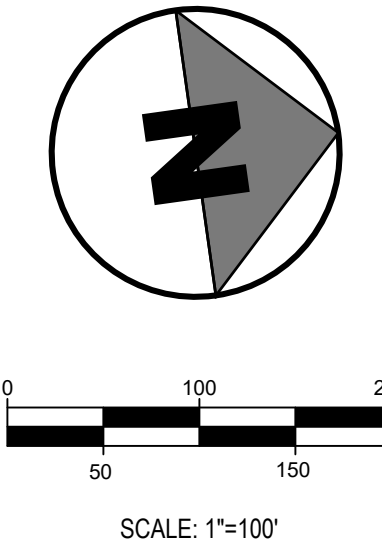
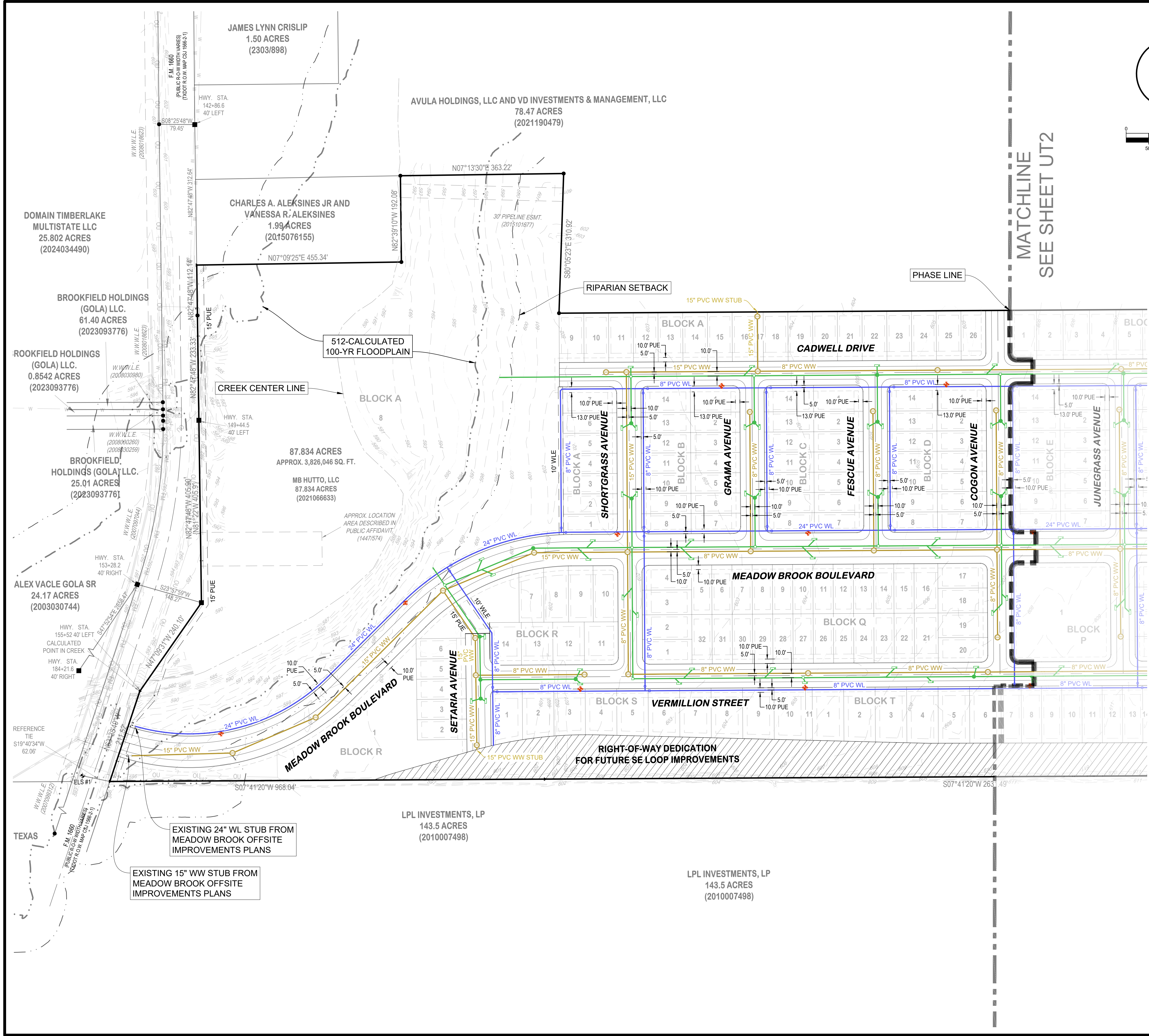
MEADOW BROOK PRELIMINARY PLAT
HUTTO, TEXAS
PROPOSED DRAINAGE AREA LAYOUT

DM2

7 / 11

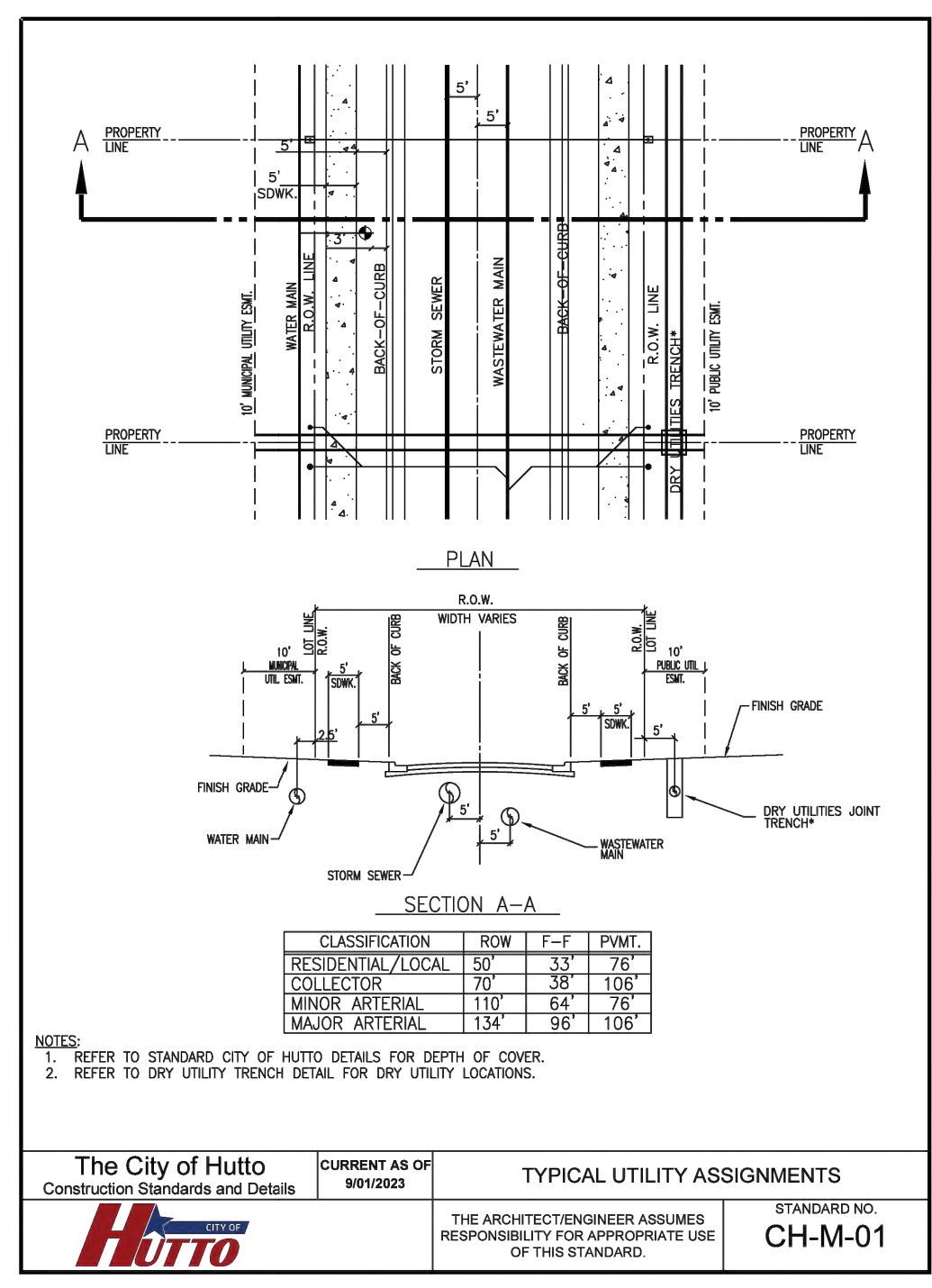
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LEGEND:

	ELS #1
	PROPOSED BOUNDARY
	PROPOSED RIGHT-OF-WAY (ROW)
	PROPOSED LOT LINE
	EASEMENT
	512-CALCULATED 100-YR FLOODPLAIN
	RIPARIAN SETBACK
	CREEK CENTERLINE
	PROPOSED FACE OF CURB (FOC)
	WATER LINE
	GATE VALVE
	FIRE HYDRANT
	WASTEWATER LINE
	WASTEWATER MANHOLE
	STORM SEWER LINE
	STORM SEWER MANHOLE
	STORM SEWER CURB INLET



The City of Hutto Construction Standards and Details	CURRENT AS OF 09/1/2023	TYPICAL UTILITY ASSIGNMENTS	STANDARD NO. CH-M-01
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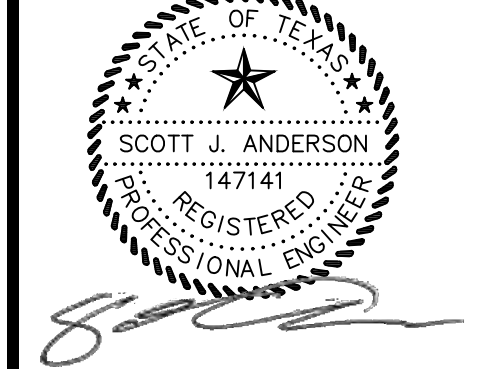
MEADOW BROOK PUD SER APPROVED APRIL 25, 2023

Date	Description	Rev



3839 BEE CAVE ROAD
SUITE 201
AUSTIN, TX 78746
F26366

5/30/2025



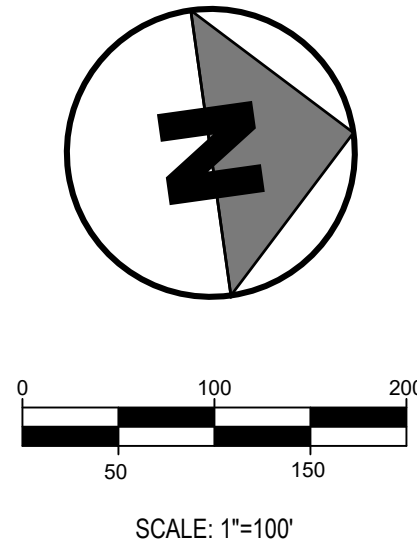
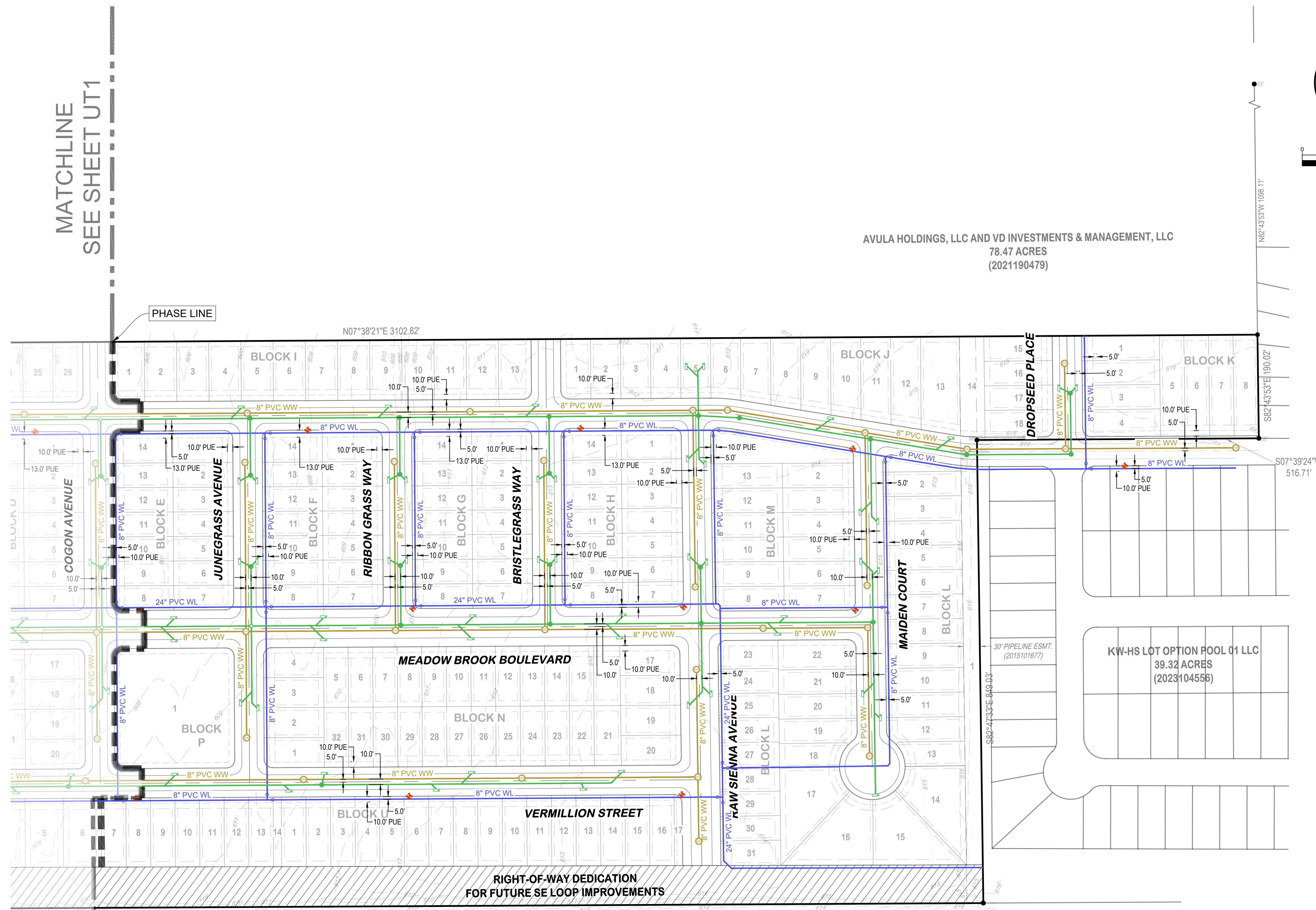
MEADOW BROOK PRELIMINARY PLAT
 HUTTO, TEXAS
 WATER & WASTEWATER LAYOUT SHEET 1 OF 2

UT1
8
11

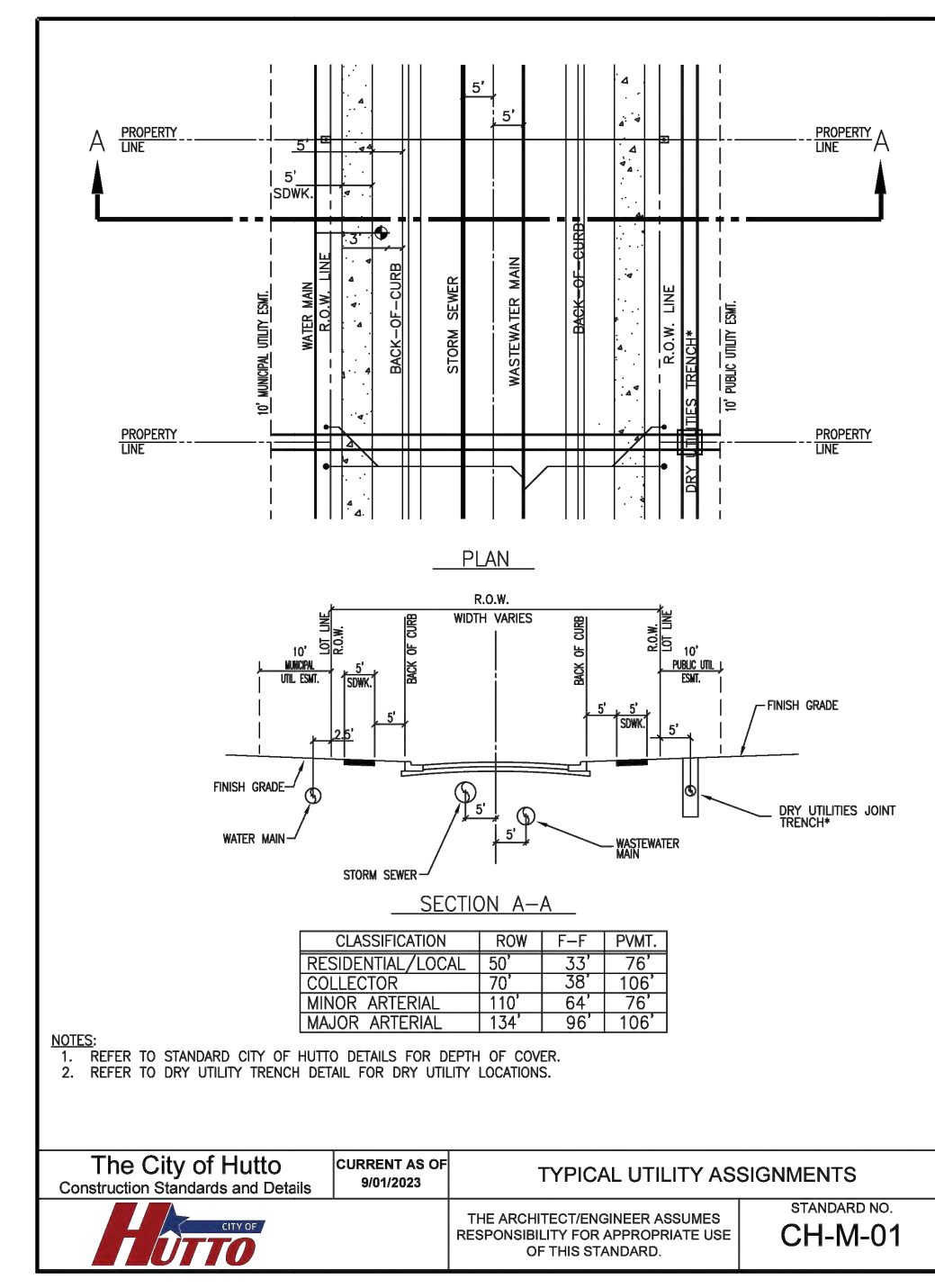
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MATCHLINE
SEE SHEET UT1

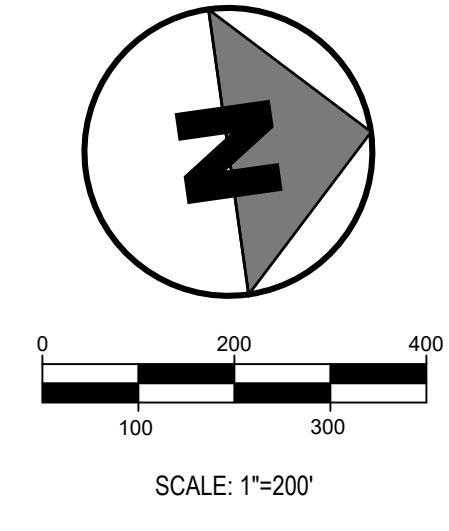
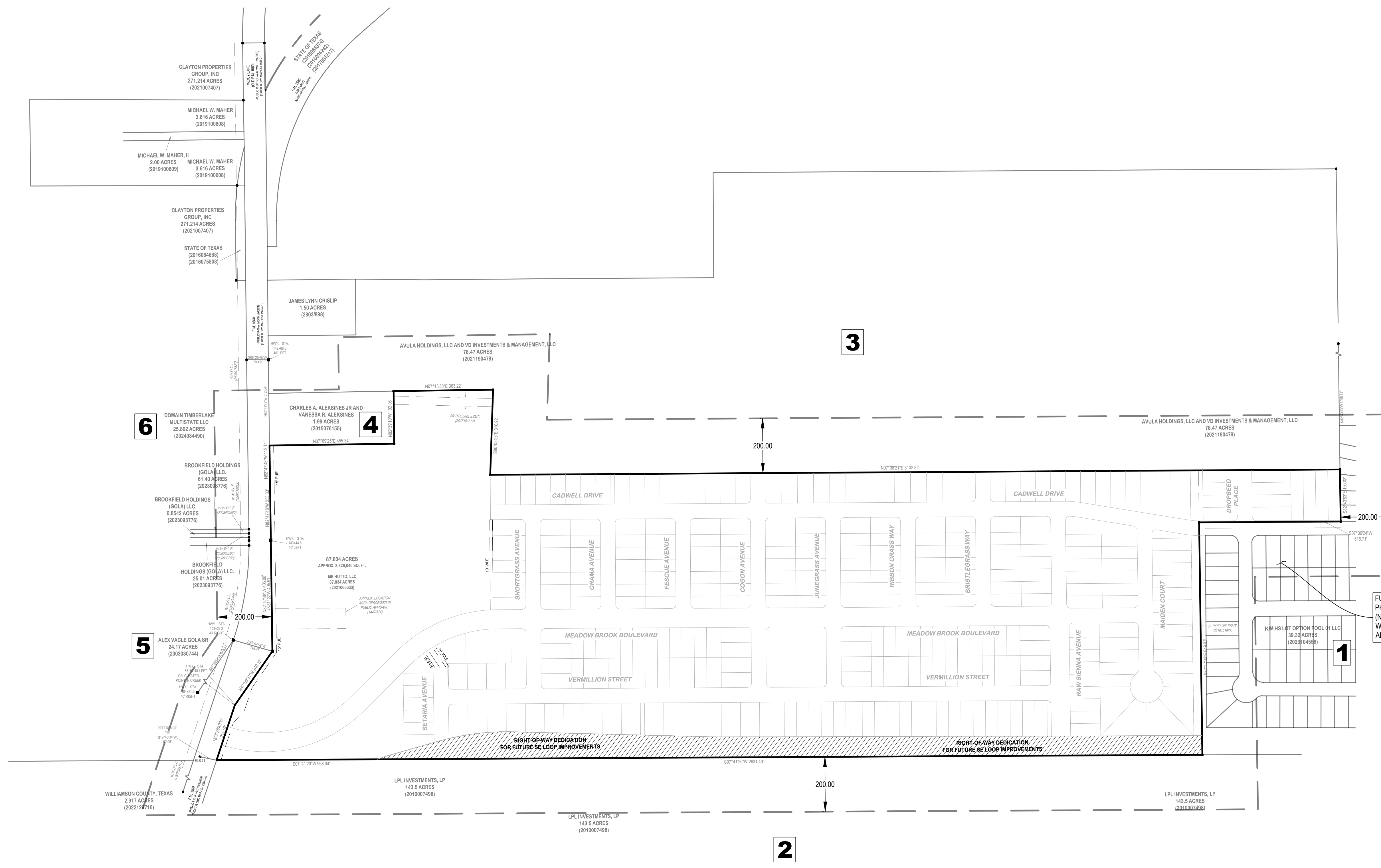


- LEGEND:**
- ↖ ELS #1 POINT OF BEGINNING / BENCHMARK
 - PROPOSED BOUNDARY
 - PROPOSED RIGHT-OF-WAY (ROW)
 - PROPOSED LOT LINE
 - - - EASEMENT
 - · - · - · 512-CALCULATED 100-YR FLOODPLAIN
 - · - · - · RIPARIAN SETBACK
 - - - CREEK CENTERLINE
 - PROPOSED FACE OF CURB (FOC)
 - WATER LINE
 - GATE VALVE
 - FIRE HYDRANT
 - WASTEWATER LINE
 - WASTEWATER MANHOLE
 - STORM SEWER LINE
 - STORM SEWER MANHOLE
 - STORM SEWER CURB INLET



MEADOW BROOK PUD SER APPROVED APRIL 25, 2023

<p>Date</p>	
<p>Description</p>	
<p>Rev</p>	
	
<p>3839 BEE CAVE ROAD SUITE 201 AUSTIN, TX 78746 F-26366</p>	
<p>5/30/2025</p>	
	
<p>MEADOW BROOK PRELIMINARY PLAT HUTTO, TEXAS</p>	
<p>WATER & WASTEWATER LAYOUT SHEET 2 OF 2</p>	
<p>UT2</p>	
<p>9</p>	<p>11</p>
<p>0005-001</p>	



- 1** R020594
KW-HS LOT OPTION POOL 01 LLC
C/O HEARTHSTONE INC
23975 PARK SORRENTO SUITE 220
CALABASAS, CA 91302
- 2** R020601
LPL INVESTMENTS LP
4000 CR 132
HUTTO, TX 78634
- 3** R020611
AVULA HOLDINGS LLC AND VD
INVESTMENTS & MANAGEMENT LLC
517 FALLEN OAKS DRIVE
CEDAR PARK, TX 78613
- 4** R020616
CHARLES A JR & VANESSA R ALEKSINES
10251 FM 1660
HUTTO, TX 78634
- 5** R020599
ALEX VACLE GOLLA SR
10300 FM 1660
HUTTO, TX 78634
- 6** R661695, R661669
DOMAIN TIMBERLAKE MULTISTATE LLC
590 MADISON AVE, 13TH FLOOR
NEW YORK, NY 10022

FUTURE COTTONWOOD CREEK
PHASE VII BY OTHERS
(NOT CURRENTLY SHOWN ON
WILLIAMSON CENTRAL
APPRAISAL DISTRICT MAP)

Rev	Description	Date



3839 BEE CAVE ROAD
SUITE 201
AUSTIN, TX 78746
F-26366

5/30/2025

STATE OF TEXAS
SCOTT J. ANDERSON
REGISTERED PROFESSIONAL ENGINEER
147141

MEADOW BROOK PRELIMINARY PLAT
HUTTO, TEXAS
ADJACENT PROPERTY OWNERS

AP0	
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AGENDA ITEM REPORT

6.1.



To: Planning and Zoning Commission
Subject: Discussion only: Commission dialogue and deliberation about inclusionary measures the City of Hutto can implement to better accommodate her citizens of all aptitudes and abilities. Subject may include, but is not limited to, code amendments and alterations, staff policy(ies), boards & commissions empowerment, and transparency/communications of the efforts to the community at-large.
Meeting: Tuesday, June 2, 2026
Department: Development Services
Staff Contact:

BACKGROUND INFORMATION:

SUMMARY OF REQUEST:

STAFF REVIEW:

FISCAL NOTES:

POLICY IMPLICATIONS:

ATTACHMENTS:

None

AGENDA ITEM REPORT

7.1.



To: Planning and Zoning Commission
Subject: Reminder: Special Called Meeting June 9th at 6:00 PM. Unified Development Code Discussion
Meeting: Tuesday, June 2, 2026
Department: Development Services
Staff Contact:

BACKGROUND INFORMATION:

SUMMARY OF REQUEST:

STAFF REVIEW:

FISCAL NOTES:

POLICY IMPLICATIONS:

ATTACHMENTS:

None