



# City of Hutto

## Agenda

### Historic Preservation Commission

Wednesday, January 28, 2026 at 7:00 PM

### Council Chambers

In accordance with the Texas Open Meetings Act this meeting agenda is posted for public information, continuously, for at least 3 business days prior to the scheduled date of the meeting on the bulletin board located on the exterior wall of the City Hall building at 500 West Live Oak, Hutto, Texas. This meeting agenda is also accessible via the Internet at [huttotx.gov](http://huttotx.gov)

**1. CALL SESSION TO ORDER**

**2. ROLL CALL**

- 2.1. Robert Lykins
- Catherine Skeen
- Jon Stephenson
- Alexis Ortiz
- DeAnne Worley Chair
- Christine Benson

**3. PUBLIC COMMENT**

Please fill out required registration form before meeting. Public comment is limited to 3 minutes. City Council can not talk about any items not on the agenda per state law. Written comments for this meeting may also be sent to [comments@huttotx.gov](mailto:comments@huttotx.gov) PRIOR to 4:00 pm on January 28, 2026. The email must include name, address, phone # and email to be recognized properly. Written comments will be provided to Council.

**4. AGENDA ITEMS**

- 4.1. Consideration and possible action on the meeting minutes from the Special called Historic Preservation Commission meeting held on November 19, 2025.
- 4.2. Consideration and possible action on a presentation about future planned Downtown projects.
- 4.3. Consideration and possible action on future teardown or remodel plans for the property at 102 Taylor Street.
- 4.4. Consideration and possible action on presentation of potential Downtown Hutto improvements by Mayor Mike Snyder.
- 4.5. Discussion regarding a potential food truck park located at 106 Farley Street.
- 4.6. Consideration and possible action on a certificate of appropriateness for a roof replacement at 104 W metcalfe street.
- 4.7. Discussion regarding an exterior remodel for the property located at 106 HWY 79, also known as Hutto Autoplex.

**5. ADJOURNMENT**

**6. CERTIFICATION**

I certify that this notice of the January 28, 2026 Hutto Historic Preservation Commission meeting was posted on the City of Hutto website and the City Hall bulletin board of the City of Hutto on January 22, 2026 before 5:00 P.M.



  
Angel Kavanaugh, Management Assistant

The City of Hutto is committed to comply with the Americans Disability Act. The Hutto City Council Chamber is wheelchair accessible. Request for reasonable special accommodations must be made 48 hours prior to the meeting. Please email the City Secretary's office at [CitySecretary@huttox.gov](mailto:CitySecretary@huttox.gov) or call (512) 759-4033 for assistance.

# AGENDA ITEM REPORT

## 4.1.



**To:** Historic Preservation Commission  
**Subject:** Consideration and possible action on the meeting minutes from the Special called Historic Preservation Commission meeting held on November 19, 2025.  
**Meeting:** Wednesday, January 28, 2026  
**Department:** Development Services  
**Staff Contact:**

### BACKGROUND INFORMATION:

### SUMMARY OF REQUEST:

### STAFF REVIEW:

### FISCAL NOTES:

### POLICY IMPLICATIONS:

### ATTACHMENTS:

1. Special Called Historic Preservation Commission minutes November 19, 2025



# City of Hutto

## Minutes

**Special Called Historic Preservation Commission  
Wednesday, November 19, 2025 at 7:00 PM  
City Council Chambers**

### **1. CALL SESSION TO ORDER**

The Historic Preservation Commission meeting opened at 7:00 PM

### **2. ROLL CALL**

Norman Delay ✓  
Robert Lykins Not in attendance  
Catherine Skeen ✓  
Jon Stephenson Not in attendance  
Alexis Ortiz ✓  
DeAnne Worley ✓

### **3. PUBLIC COMMENT**

Please fill out required registration form before meeting. Public comment is limited to 3 minutes. City Council can not talk about any items not on the agenda per state law. Written comments for this meeting may also be sent to [comments@huttotx.gov](mailto:comments@huttotx.gov) PRIOR to 4:00 pm on November 19, 2025. The email must include name, address, phone # and email to be recognized properly. Written comments will be provided to Council.

There was no public comment

### **4. AGENDA ITEMS**

4.1. Consideration and possible action on the meeting minutes from the regularly scheduled Historic Preservation Commission meeting held on September 24, 2025.

No Action

4.2. Consideration and possible action on the meeting minutes from the Special Called Historic Preservation Commission meeting held on October 21, 2025.

A motion was made by commissioner Norman Delay to approve the meeting minutes from the Special called Historic Preservation Commission meeting held on October 21, 2025, seconded by commissioner Alexis Ortiz.

Motion passed 4 Ayes to 0 Nays

4.3. Consideration and possible action on the Certificate of Appropriateness request for a fence at 151 West Austin Avenue.

Manny Hernandez, Planner presented, chair, asked if the fence would just be around the storage shed. This was confirmed.

A motion was made by Chair DeAnne Worley to approve the Certificate of Appropriateness request, seconded by commissioner Catherine Skeen.

Motion passed 4 Ayes to 0 Nays

### **5. PLANNING MANAGER REPORT**

\*Potentially need to meet December 17

**6. ADJOURNMENT**

The Historic Preservation Commission meeting adjourned at 7:11 PM

**7. CERTIFICATION**

I certify that this notice of the November 19, 2025 Hutto City Council meeting was posted in accordance with the Texas Open Meetings Act on the City of Hutto website (huttotx.gov) and the City Hall bulletin board (500 W. Live Oak Street) on November 13, 2025 before 5:30 P.M.

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Historic Preservation Commission Chair or Representative

# AGENDA ITEM REPORT

## 4.2.



**To:** Historic Preservation Commission  
**Subject:** Consideration and possible action on a presentation about future planned Downtown projects.  
**Meeting:** Wednesday, January 28, 2026  
**Department:** Development Services  
**Staff Contact:** Manny Hernandez

### BACKGROUND INFORMATION:

Added on to the agenda at the request of Deanne Worley. Project presentation will be from Gracie Matthews, a Downtown Business Association member and business owner.

### SUMMARY OF REQUEST:

### STAFF REVIEW:

### FISCAL NOTES:

### POLICY IMPLICATIONS:

### ATTACHMENTS:

None

# AGENDA ITEM REPORT

## 4.3.



**To:** Historic Preservation Commission  
**Subject:** Consideration and possible action on future teardown or remodel plans for the property at 102 Taylor Street.  
**Meeting:** Wednesday, January 28, 2026  
**Department:** Development Services  
**Staff Contact:** Manny Hernandez

### BACKGROUND INFORMATION:

Added on the agenda at the request of Chair Deanne Worley

### SUMMARY OF REQUEST:

### STAFF REVIEW:

### FISCAL NOTES:

### POLICY IMPLICATIONS:

### ATTACHMENTS:

None

# AGENDA ITEM REPORT

## 4.4.



**To:** Historic Preservation Commission  
**Subject:** Consideration and possible action on presentation of potential Downtown Hutto improvements by Mayor Mike Snyder.  
**Meeting:** Wednesday, January 28, 2026  
**Department:** Development Services  
**Staff Contact:**

### BACKGROUND INFORMATION:

This has been Placed on the Agenda at the request of Chair Deanne Worley. Mayor Mike Snyder will present on potential Downtown Hutto improvements

### SUMMARY OF REQUEST:

### STAFF REVIEW:

### FISCAL NOTES:

### POLICY IMPLICATIONS:

### ATTACHMENTS:

None

# AGENDA ITEM REPORT 4.5.



**To:** Historic Preservation Commission  
**Subject:** Discussion regarding a potential food truck park located at 106 Farley Street.  
**Meeting:** Wednesday, January 28, 2026  
**Department:** Development Services  
**Staff Contact:**

## BACKGROUND INFORMATION:

An applicant is seeking to develop a food truck park at 106 Farley Street. This property falls within the historic district and staff is seeking some preliminary feedback regarding the restroom building for this project.

## SUMMARY OF REQUEST:

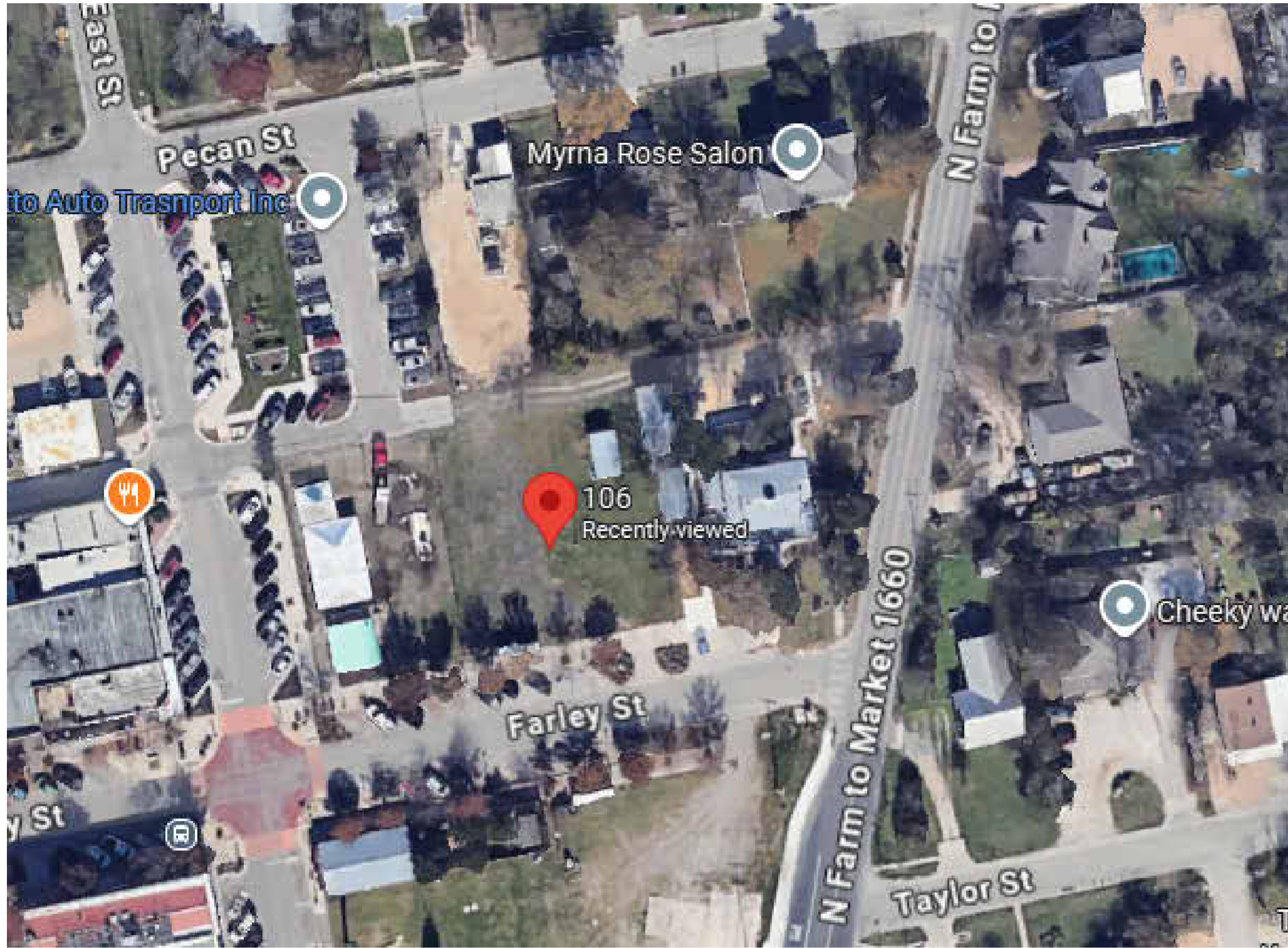
## STAFF REVIEW:

## FISCAL NOTES:

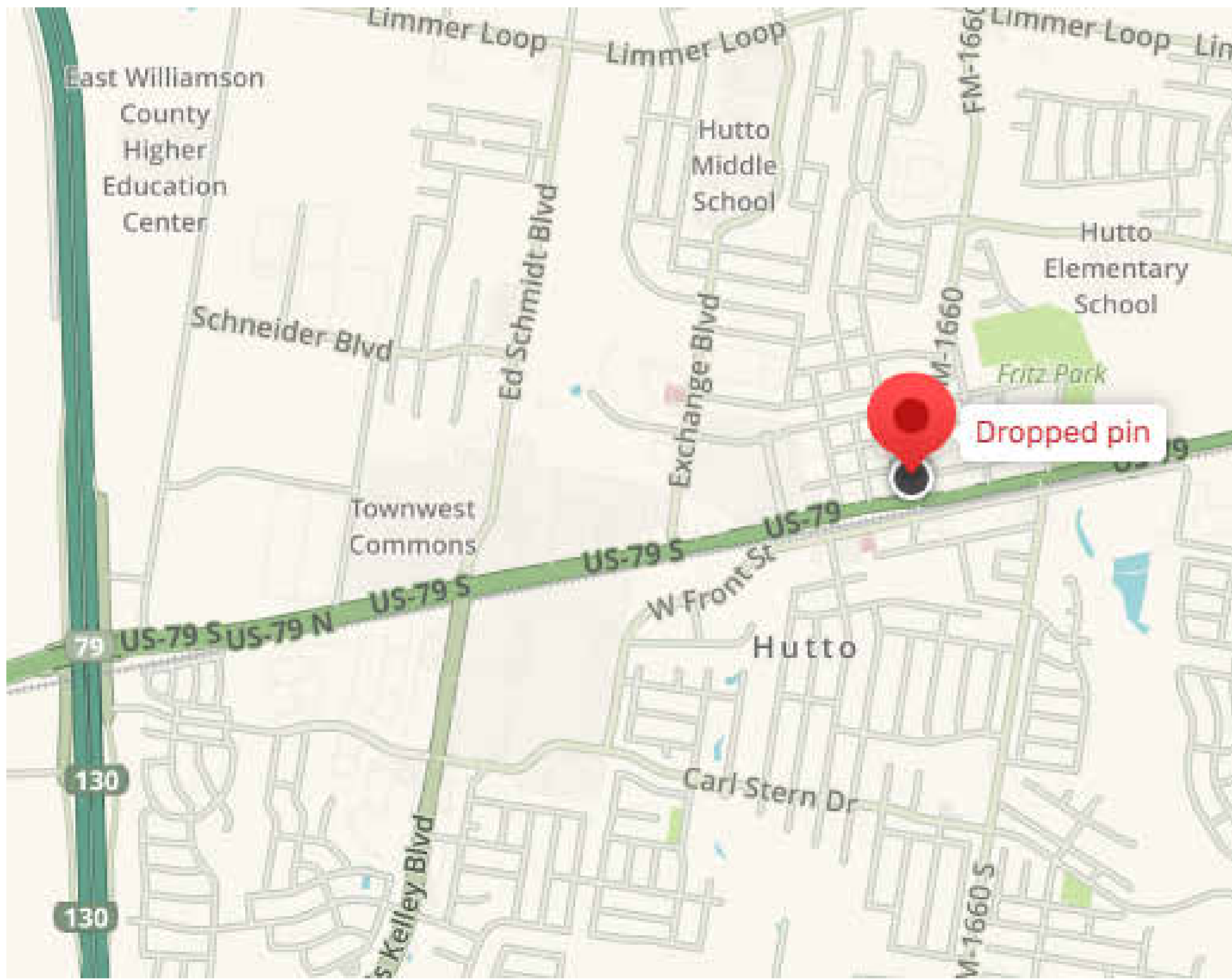
## POLICY IMPLICATIONS:

## ATTACHMENTS:

1. 106 FARLEY ST , HUTTO TX 12-2-2025



VICINITY MAP



CITY MAP

**SCOPE OF WORK**

- THE PREPARATION OF THE LOT TO RECEIVED MOBILE FOOD TRUCK PARKING SPACES-
- THE INSTALLATION OF A GREASE TRAP FOR ALL 6 FOOD TRUCKS
- THE CONSTRUCTION OF A RESTROOM FEMALE AND MALE BUILDING
- THE LAYOUT OF ELECTRICAL , WATER AND WASTE WATER TAPS FOR EACH FOOD TRUCK.

**PROPERTY PROFILE**

OWNER: BELL TERRY W & VERONICA L  
 ADDRESS: 106 FARLEY ST , HUTTO TX 78634  
 LEGAL DESCRIPTION: S4404 - Railroad, BLOCK 5, Lot 4 - 3e/pt, ACRES 0.34  
 ZONING: OT-5H ( HISTORIC )  
 PROPERTY ID: R021420  
 MAP NUMBER : 3-4357  
 LAND: 0.34 ACRES ( 14,810.00 SQFT )

**CODES TO FOLLOW**

- 2024 INTERNATIONAL RESIDENTIAL CODE
- 2024 INTERNATIONAL BUILDING CODE
- 2024 INTERNATIONAL ENERGY CONSERVATION CODE
- 2024 INTERNATIONAL FIRE CODE
- 2024 INTERNATIONAL SWIMMING POOL AND SPA CODE
- 2024 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE
- 2023 NATIONAL ELECTRICAL CODE ( NEC )
- 2024 UNIFORM MECHANICAL CODE ( UMC )
- 2024 UNIFORM PLUMBING CODE ( UPC )

SHEET LIST	
SHEET NAME	SHEET #
TITLE PAGE	A00
GENERAL NOTES	A002
ADA NOTES	A003
NEW SITE PLAN UTILITIES	A100
NEW SITE PLAN PARK LAYOUT	A200
BATHROOM FLOOR PLAN	A300
BATHROOM ELEVATIONS	A301
MONUMENT WALL	A400

**CONTACT INFORMATION**

DESIGNER  
 QUICKCAD DRAFTING AND DESING  
 EMAIL: quickcaddesign@outlook.com  
 PHONE : 512-822-5143



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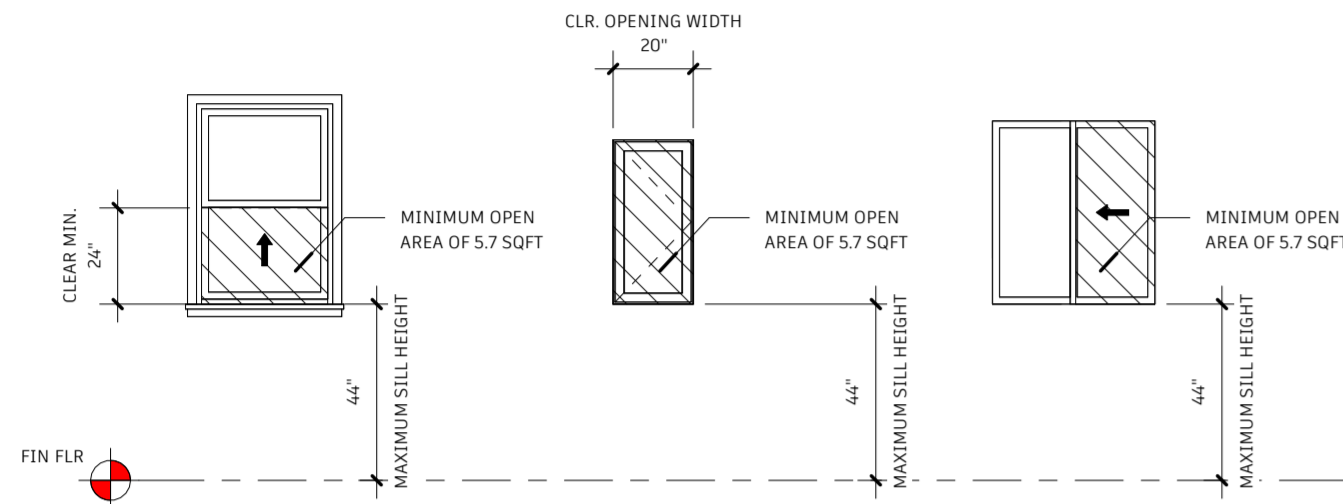
PROJECT # 2025-38

**HUTTO FOOD TRUCK PARK**  
 106 FARLEY ST , HUTTO, TX 78634

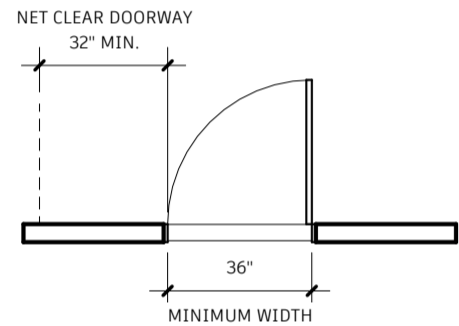
**A00**  
 TITLE PAGE

**DOOR & WINDOWS NOTES**

1. ALL DOORS AND WINDOWS MUST COMPLY WITH CURRENT BUILDING CODES.
2. ALL INTERIOR DOORS 6'8 HOLLOW. UNLESS OTHERWISE NOTED.
3. EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH A SILL FINISH HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPEN AREA OF 5.7 SQFT.
4. EGRESS WINDOWS SHALL NOT HAVE AN OPERABLE AREA LESS THAN 20"WIDE OR 24" HIGH.
5. DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1- 3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOORS SHALL BE SELF CLOSING.
6. EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOORS SHALL BE OPERABLE FROM INSIDE WITH OUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
7. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS.
8. THESE DOCUMENTS REFLECT NOMINAL WINDOW SIZES. WINDOW MANUFACTURER TO USE STANDARD SIZES UNLESS NOTED OTHERWISE



EGRESS WINDOW  
1/4" = 1'-0"



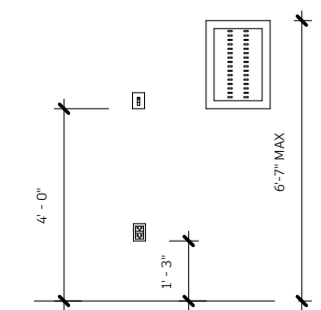
EGRESS DOOR  
1/4" = 1'-0"

**GLAZING/WINDOWS NOTES**

1. GLAZING IN SIDE HINGED DOORS EXCEPT JALOUSIES.
2. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS ASSEMBLIES AND PANELS IN SLIDING AND BIFOLD CLOSET DOORS ASSEMBLIES.
3. GLAZING IN STORM DOORS
4. GLAZING IN ALL UNFRAMED SWINGING DOORS.
5. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITH-IN A 24 INCH ARC OF THE DOOR IN A CLOSED POSITION. AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES FROM THE FLOOR OR WALKING SURFACE.
6. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL OTHER THAN THOSE LOCATIONS DESCRIBED ABOVE, THAT MEETS ALL THE FOLLOWING CONDITIONS.
  - EXPOSED ARE OF AN INDIVIDUAL PANE GREATER THAN 9 SQ FT.
  - TOP EDGE GREATER THAN 36" ABOVE FINISHED FLOOR.

**ELECTRICAL NOTES**

1. ALL INSTALLATION TO BE IN ACCORDANCE WITH LOCAL CODES AND THE NATIONAL ELECTRICAL CODE.
2. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND INSPECTIONS.
3. CONVENIENCE OUTLETS TO BE MOUNTED AT 18" A.F.F MAX.
4. OUTLETS MOUNTED ABOVE CABINETS TO BE 6" ABOVE THE NOMINAL WORKING SURFACE AREA. SPECIALTY OUTLETS AS NOTED OR ACCORDING TO STANDARD PRACTICE.
5. REFRIGERATOR AND APPLIANCES OUTLETS SHALL BE AT 44" A.F.F
6. BATHROOM OUTLETS LABELED CT SHALL BE MOUNTED 6" ABOVE COUNTER.
7. SWITCH BOXES TO BE MOUNTED 42" MAX A.F.F TO CENTERLINE OF BOX CLUSTER.
8. MICROWAVE OUTLETS SHALL BE 20AMP. SEPARATE.
9. ATTIC LIGHT SWITCH BOX TO BE MOUNTED AT 84" A.F.F.
10. ATTIC LIGHTS SWITCH TO BE KEYLESS FIXTURE WITH INTEGRATED CONVENIENCE OUTLET LOCATED CONVENIENT TO ACCESS.
11. WASHER TO HAVE SEPARATE 20 AMP DUPLEX OUTLET AT 44" A.F.F
12. DRYER TO HAVE SEPARATE 220V 30AMP SINGLE OUTLET AT 44" A.F.F
13. ALL EXTERIOR OUTLETS TO BE GFCI AND WEATHERED PROTECTED.
14. TELEPHONE OUTLETS: PROVIDE BOX AT 14" A.F.F.FOR 6" ABOVE COUNTER.
15. CABLE OUTLETS: PROVIDE BOX AT 14" A.F.F OR 6" ABOVE COUNTER.
16. SMOKE ALARMS SHALL COMPLY W/NFPA72 & SECTION R314 OF THE INTERNATIONAL RESIDENTIAL CODE.

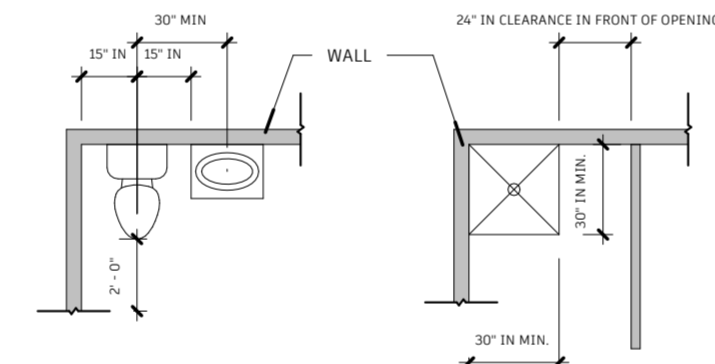


ELECTRICAL HEIGHT GUIDE  
1/4" = 1'-0"

**GENERAL CONTRACTOR NOTES**

1. THESE PLANS ARE INTENDED TO PROVIDE THE BASIC CONSTRUCTION INFORMATION NECESSARY TO CONSTRUCT THIS STRUCTURE.THESE PLANS MUST BE FIELD VERIFIED AND CHECKED COMPLETELY BY THE GENERAL CONTRACTOR OR SUB-CONTRACTOR IN AUTHORITY FOR THE JOB. ANY DISCREPANCIES, ERROR, AND/OR OMISSION IF FOUND IS TO BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE DESIGNER PRIOR TO COMMENCING CONSTRUCTION,WORK, OF PURCHASE MADE.
2. ALL CODES, ORDINANCES, AND REQUIREMENTS FEDERAL, STATE, AND LOCAL, TAKE PRECEDENT OVER ANY PART OF THESE DOCUMENTS, WHICH MAY CONFLICT WITH THESE AGENCIES RULES AND OR REGULATIONS AND MUST BE ADHERED TO BEFORE AND DURING CONSTRUCTION.
3. ALL NOTES & DRAWINGS SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS AS PRODUCED BY THE INTERNATIONAL CODE COUNCIL. ALL REFERENCES WERE/ARE TAKEN FORM THE 2024 ISSUE.
4. UNLESS OTHER WISE PERMITTED OR REQUIRED BY THE DRYER MFG, INSTALLATION INSTRUCTION OR APPROVED BY THE BLDG OFFICIAL DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF A 14' INCLUDING TWO 90 D ELBOWS IN EXCESS OF TWO.
5. ATTIC ACCESS ARE PROVIDED ON PLANS TO SERVICES MECH. EQUIPMENT AND LIMITED LIGHT STORAGE BUT IN NO CASE SHALL THE COMBINED DECK ATTIC AREAS EXCEED 500 PSF.
6. SHOWER STALLS TO BE TILED FLOOR TO CEILING.
7. PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOM THROUGH NATURAL OR MECHANICAL MEANS AND COMPLY WITH R303.3 AND R303.4.
8. APPROVED SMOKE DETECTORS LOCATIONS SHALL COMPLY WITH SECTION R314.
9. IF AN ENGINEER STAMP/PLANS HAVE BEEN SUPPLIED BY OTHER AND ARE PRESENT. THE ENGINEER OF RECORD SHALL BEAR ALL STRUCTURAL RESPONSIBILITIES OF THE STRUCTURE CONTAINED HEREIN.
10. ALL ANGLES TO BE 45 D UNLESS NOTED OTHERWISE.
11. DIMENSIONS SHOWN ON THE FLOOR PLAN ARE NOMINAL, SLIGHT FIELD ADJUSTMENTS MAY BE NECESSARY TO ALLOW FOR ACTUAL MATERIAL SIZES AND PRACTICALITY OF THE CONVENTIONAL CONSTRUCTION METHODS. DETAILS AND NOTES NOT PROVIDED WITH THE DRAWINGS SHOULD BE PROVIDED BY THE MFG.
12. ALL AGREEMENTS AS OUT IN THE CONSTRUCTION AGREEMENT SHALL HOLD PRECEDENCE OVER ANY SPECIFICATIONS AS OUTLINED OR DEFINED IN THESE DRAWINGS.
13. INSULATE FOR SOUND AT ALL BATHS, MECH., AND LAUNDRY ROOM.
14. ANY WORK COMPLETED BY ANY SUBCONTRACTOR SHALL BE ONLY CONDUCTED UPON A WRITTEN AGREEMENT/CONTRACT BETWEEN THE BUILDER AND SAID SUBCONTRACTOR WITH THE FULL SCOPE OF WORK TO BE COMPLETED DULY NOTE IN THE PROPOSAL. IN ADDITION THE AGREEMENT/CONTRACT SHALL ALSO STATE EXACT COSTS TO BE INCURRED AND FULL DRAW AND PAYMENT INSTRUCTIONS/DEMANDS. NO SUBCONTRACT SHALL CHANGE ANY SPECIFICATION AS DEFINED BY THESE DRAWINGS WITHOUT THE WRITTEN CONSENT FROM BOTH THE OWNER AND BUILDER.
15. BUILDER SHALL NOTE THE FOLLOWING SPECIFIC CONSTRUCTION GUIDELINES IN ADDITION TO THE GENERAL NOTES SUPPLIED IN THESE DRAWINGS.

- ALL WINDOWS SHALL BE APPROVED LOW E GLASS
- FURNACES INSTALLED SHALL MEET A MINIMUM OF AN 80% AFUE RATING
- ALL AIR CONDITIONING SYSTEMS SHALL BE A MINIMUM OF 12 SEER UNITS AS PER 2024 INTERNATIONAL ENERGY CONSERVATION CODE IECC.
- MECHANICAL DUCTING REFER TO 2024 IECC REQUIREMENTS.
- ALL EXTERIOR WALLS SHALL BE A MINIMUM OR R-13 INSULATION.
- ALL CLOSED DOOR ROOMS SHALL RECEIVED A RETURNED AIR GRILL FOR PROPER AIR CIRCULATION.



TOILET AND SHOWER MIN CLEARANCES  
PER IRC  
3/16" = 1'-0"

**2017 NEC GFCI REQUIREMENTS FOR DWELLING UNITS**

ARTICLE 210.8 STATES THAT GROUND FAULT INTERRUPTERS SHALL BE USED FOR ALL 125 VOLT SINGLE PHASE 15 AND 20 AMP RECEPTACLES IN THE FOLLOWING LOCATIONS.

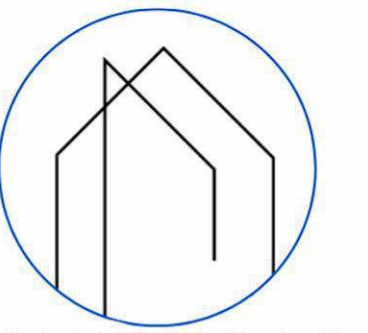
- BATHROOM: ALL RECEPTACLES
- EXCEPTIONS: RECEPTACLES SUPPLYING ONLY PERMANENTLY INSTALLED FIRE ALARM OR BURGLAR ALARM SYSTEM, RECEPTACLES THAT ARE NOT READILY ACCESSIBLE, RECEPTACLES ON A DEDICATED CIRCUIT AND LABELED FOR USED WITH A PLUG-IN EQUIPMENT.
- KITCHENS: ALL RECEPTACLES SERVING COUNTERTOP AREAS AND ANY RECEPTACLE WITHIN 4 FEET OF A SINK.
- LAUNDRY, UTILITY, AND WET BARS: WHERE RECEPTACLES ARE PLACED WITHIN SIX FEET OF THE OUTSIDE EDGE OF THE SINK.

**CODES TO FOLLOW**

- 2024 INTERNATIONAL RESIDENTIAL CODE
- 2024 INTERNATIONAL BUILDING CODE
- 2024 INTERNATIONAL ENERGY CONSERVATION CODE
- 2024 INTERNATIONAL FIRE CODE
- 2024 INTERNATIONAL SWIMMING POOL AND SPA CODE
- 2024 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE
- 2023 NATIONAL ELECTRICAL CODE ( NEC )
- 2024 UNIFORM MECHANICAL CODE ( UMC )
- 2024 UNIFORM PLUMBING CODE ( UPC )

**ABBREVIATIONS**

ABV	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
A/C	AIR CONDITIONED UNIT
AB	ANCHOR BOLT
BR	BEDROOM
CAB	CABINET
CLG	CEILING
CSMT	CASEMENT
CLO	CLOSET
CL D	CLOTHES DRYER
CONC FLOOR	CONCRETE FLOOR
CNTR	COUNTER
DW	DISHWASHER
DWH	DOMESTIC WATER HEATER
DS	DOWNSPOUT
ESMT	EASEMENT
EXST GR	EXISTING GRADE
EF	EXTERIOR FINISH
FOS	FACE OF STUD
FOW	FACE OF WALL
FIN	FNISH
FF EL	FINISH FLOOR ELEVATION
FIN GR	FINISH GRADE
GA	GAUGE
GYP BD	GYPSUM BOARD
HC	HOLLOW CORE
HB	HOSE BIB
INSUL	INSULATION
LAU	LAUNDRY
MTL	METAL



QUICKCAD  
DRAFTING & DESIGN

MEMBER



AMERICAN INSTITUTE of  
BUILDING DESIGN

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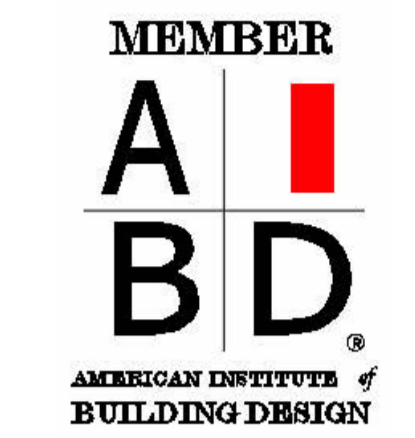
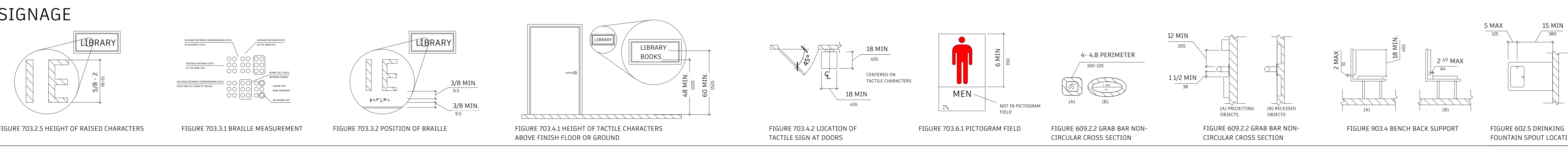
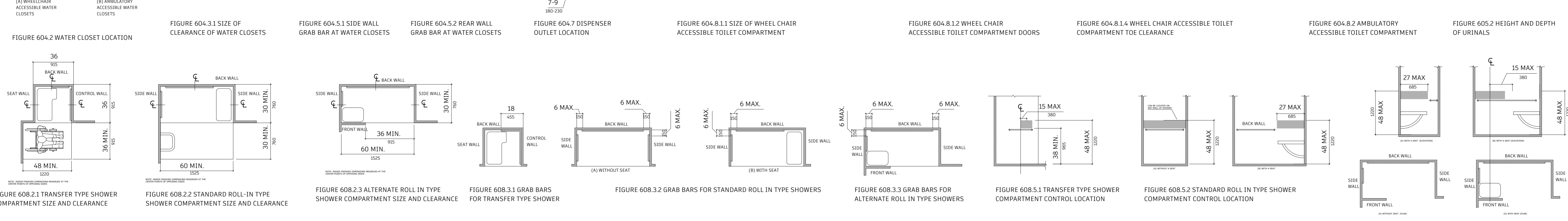
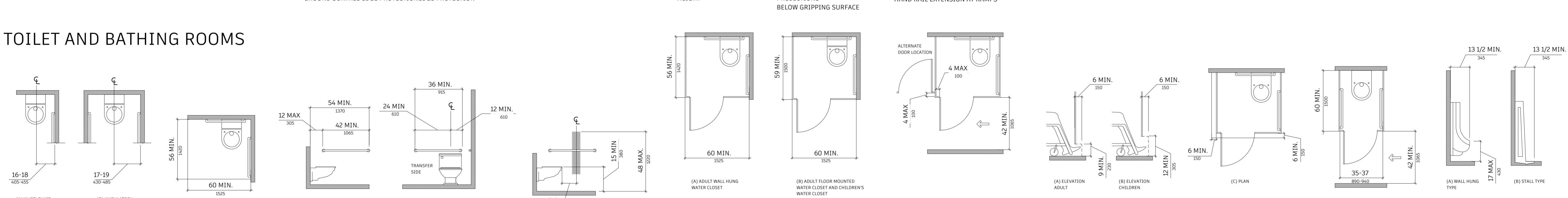
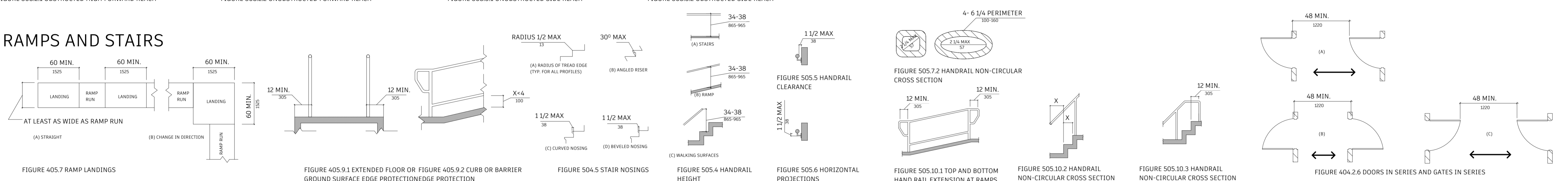
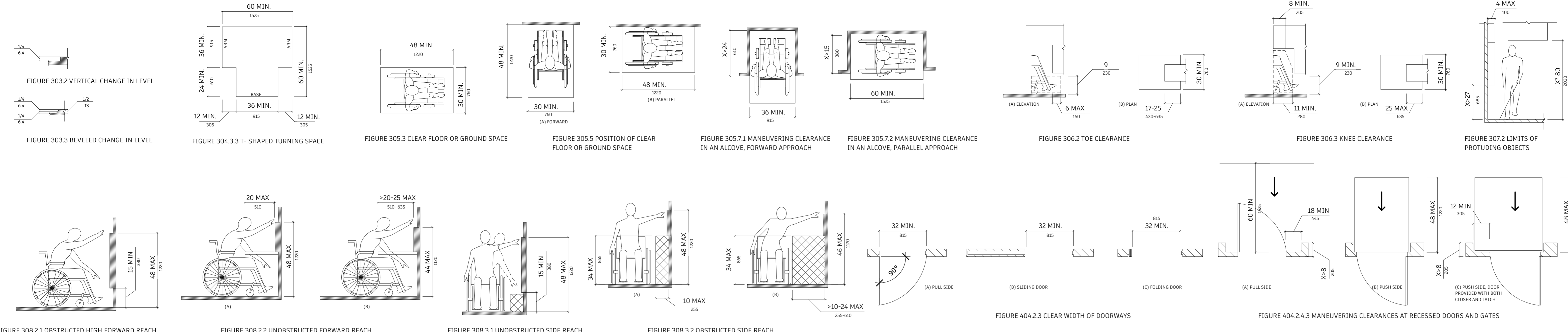
As indicated
As indicated
PROJECT # 2025-38

**HUTTO FOOD TRUCK PARK**  
106 FARLEY ST , HUTTO, TX 78634

**A002**

GENERAL NOTES

# GENERAL



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As indicated  
 As indicated  
 PROJECT # 2025-38

**HUTTO FOOD TRUCK PARK**  
 106 FARLEY ST., HUTTO, TX 78634

**A003**  
 ADA NOTES

**GENERAL SITE PLAN NOTES**

1. BUILDER TO RESCULPTURE TOPO/FINISHED GRADE TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AWAY FROM BUILDING AS REQ'D.
2. BUILDER TO CONFIRM FINAL LOCATION OF PROPOSED RESIDENCE
3. UTILITY LINES DRAWN ON PLAN FOR REPRESENTATIONAL PURPOSES ONLY. GENERAL CONTRACTOR TO FIELD VERIFY UTILITY LINE LOCATIONS.
4. EXPOSED FOUNDATION TO BE A MINIMUM OF 8" AND A MAXIMUM OF 24" ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS, UNDERPIN ALL EXPOSED FOUNDATIONS.
5. VERIFY METER AND UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
6. EROSION CONTROL BARRIERS TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
8. CONFIRM ALL DRIVEWAY, WALKWAY AND PVC LAYOUTS/LOCATIONS PRIOR TO COMMENCING WORK.
9. PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
10. LOCATION OF MAILBOX AND EXTERIOR DRIVEWAY LIGHT(S) TO BE VERIFIED PRIOR TO INSTALLATION.
11. ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
12. LANDSCAPE PLANS TO BE PROVIDED BY OTHERS AND PERMIT FOR SAME TO BE OBTAINED SEPARATELY FROM THESE PLANS.
13. CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AND REMOVE DEBRIS AND MATERIALS FROM THE SITE UPON COMPLETION OF THE WORK.
14. DRIVEWAY TO BE INSTALLED PER COUNTY ORDINANCES

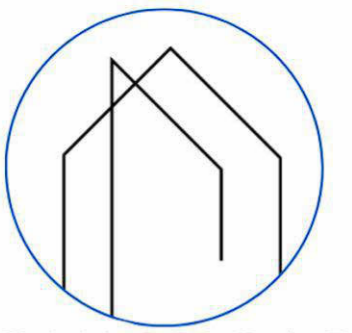
SITE LEGEND	
	ROOF OVERHANG
	ELECTRICAL SERVICE PANEL
	ELECTRICAL METER
	GAS METER
	WATER METER
	CLEAN OUT
	OVER HEAD LINES
	WOOD FENCE
	WATER LINES
	WASTE WATER LINES

TEMPORARY ON SITE SYMBOLS	
	CONTRACTOR PARKING, DUMPSTER, SPOILS
	CONTRACTOR SITE ACCESS
	PORTABLE POTTY
	CHAIN LINK FENCE
	EROSION CONTROL FENCE

VISITABILITY LEGEND	
	ACCESSIBLE / EGRESS ROUTE
	MIN CLEAR SPACE
	EXIT SIGN DISPLAY 216.4.1 EXIT DOORS. DOORS AT EXIT PASSAGEWAY, EXIT DISCHARGE AND EXIT STAIRWAYS SHALL BE IDENTIFIED BY TACTILE SIGNS COMPLYING WITH 703.1, 703.2
	FIRE EXTINGUISHER CABINET, RECESSED. PROVIDE OCCULT CABINET, STAINLESS FINISH WITH VERTICAL DUO WINDOW
	VISITABLE ENTRANCE VISITABLE NO STEP ENTRY MAX 1/2" BEVELED THRESHOLD 3'X3' MIN LANDING WITH MAX 1/4" FT SLOPE



1 NEW SITE PLAN UTILITIES  
1/8" = 1'-0"



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1/8" = 1'-0"

1/8" = 1'-0"

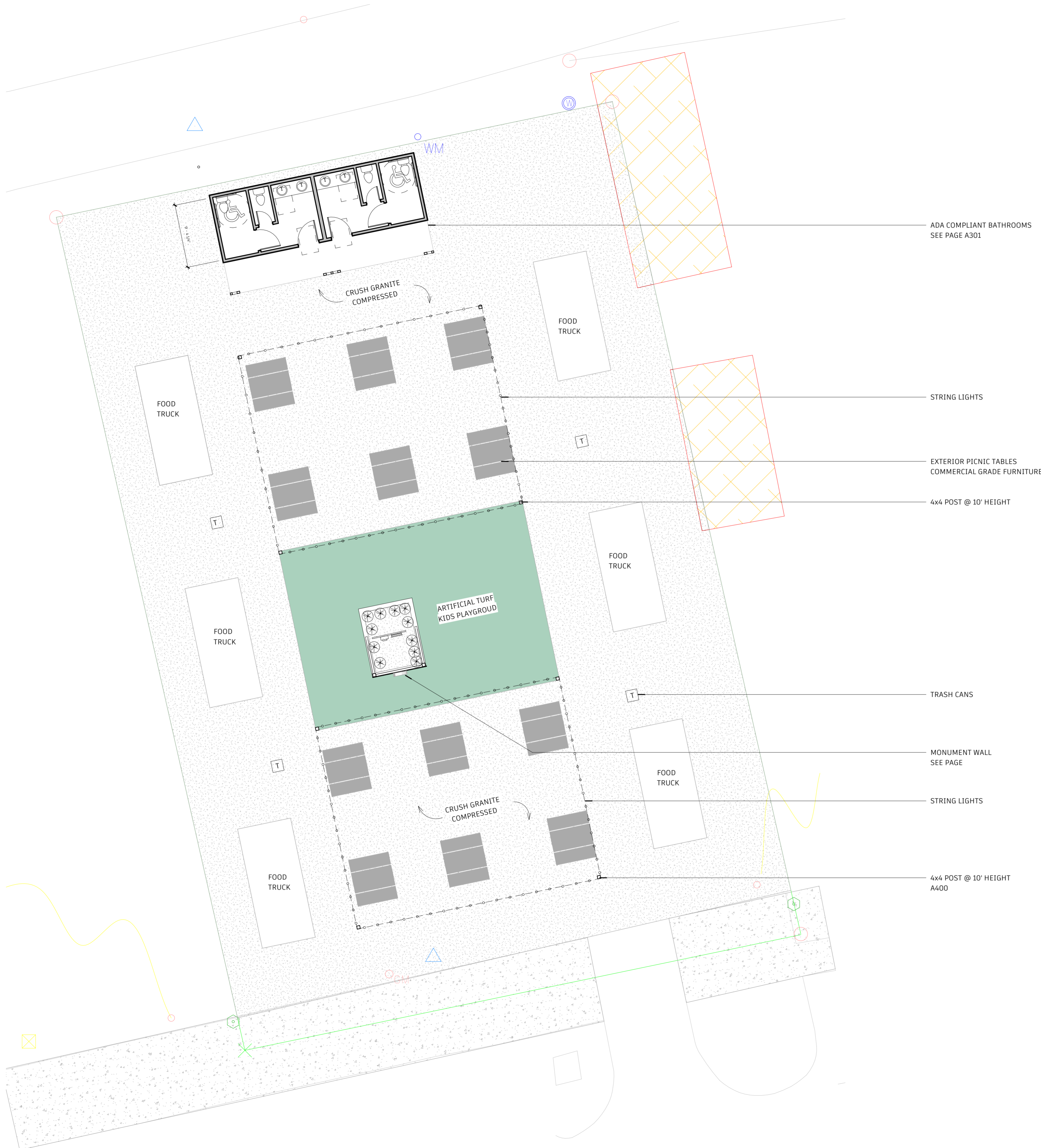
PROJECT # 2025-38

# HUTTO FOOD TRUCK PARK

106 FARLEY ST , HUTTO, TX 78634

## A200

NEW SITE PLAN PARK  
LAYOUT



ADA COMPLIANT BATHROOMS  
SEE PAGE A301

STRING LIGHTS

EXTERIOR PICNIC TABLES  
COMMERCIAL GRADE FURNITURE

4x4 POST @ 10' HEIGHT

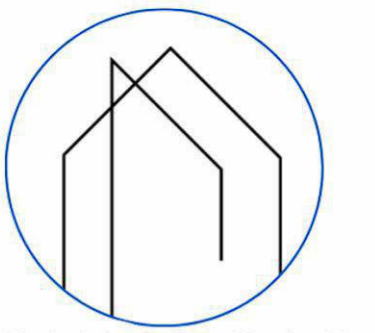
TRASH CANS

MONUMENT WALL  
SEE PAGE

STRING LIGHTS

4x4 POST @ 10' HEIGHT  
A400

1 FOOD PARK LAYOUT  
1/8" = 1'-0"



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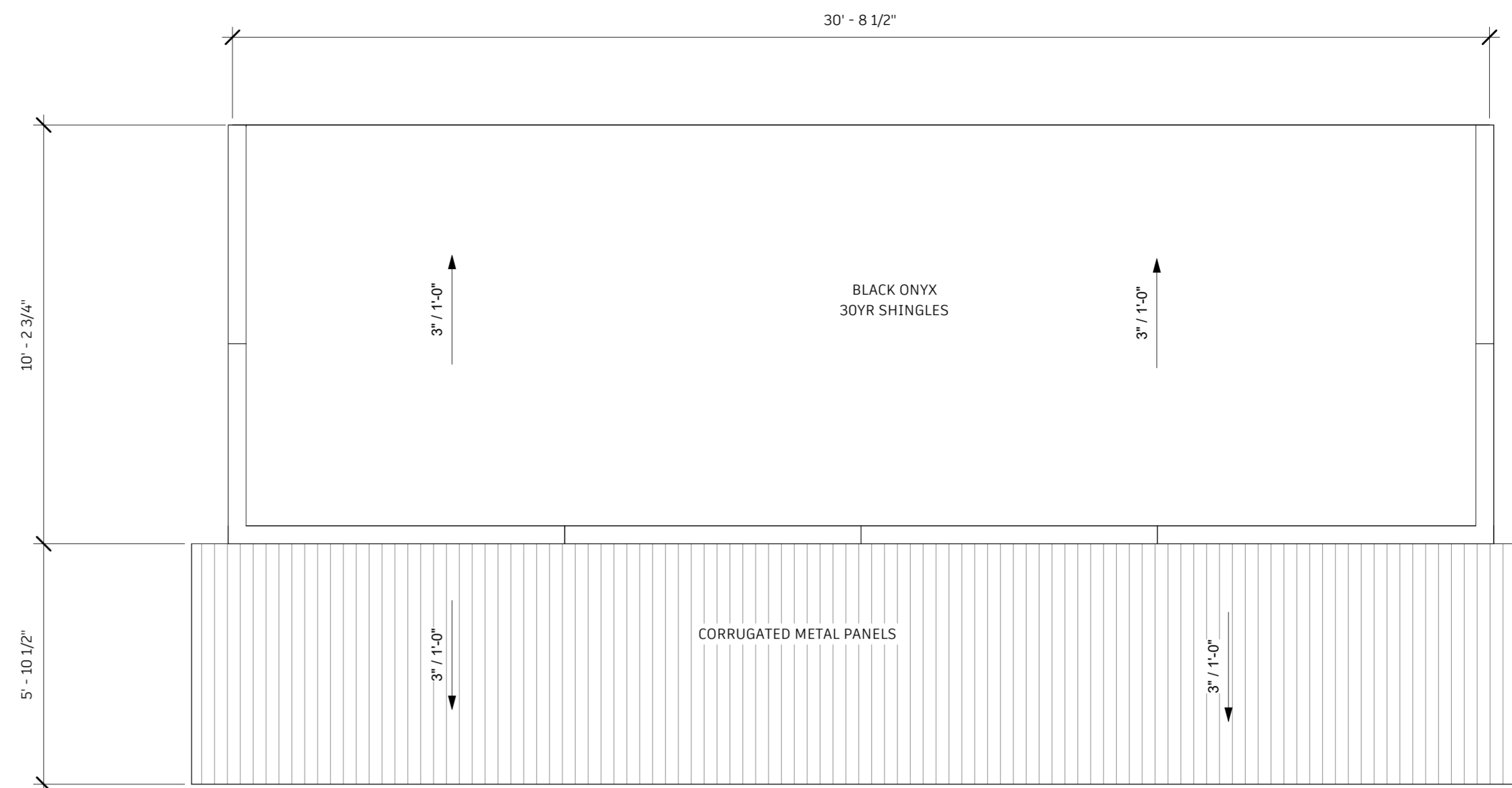
3/8" = 1'-0"

PROJECT # 2025-38

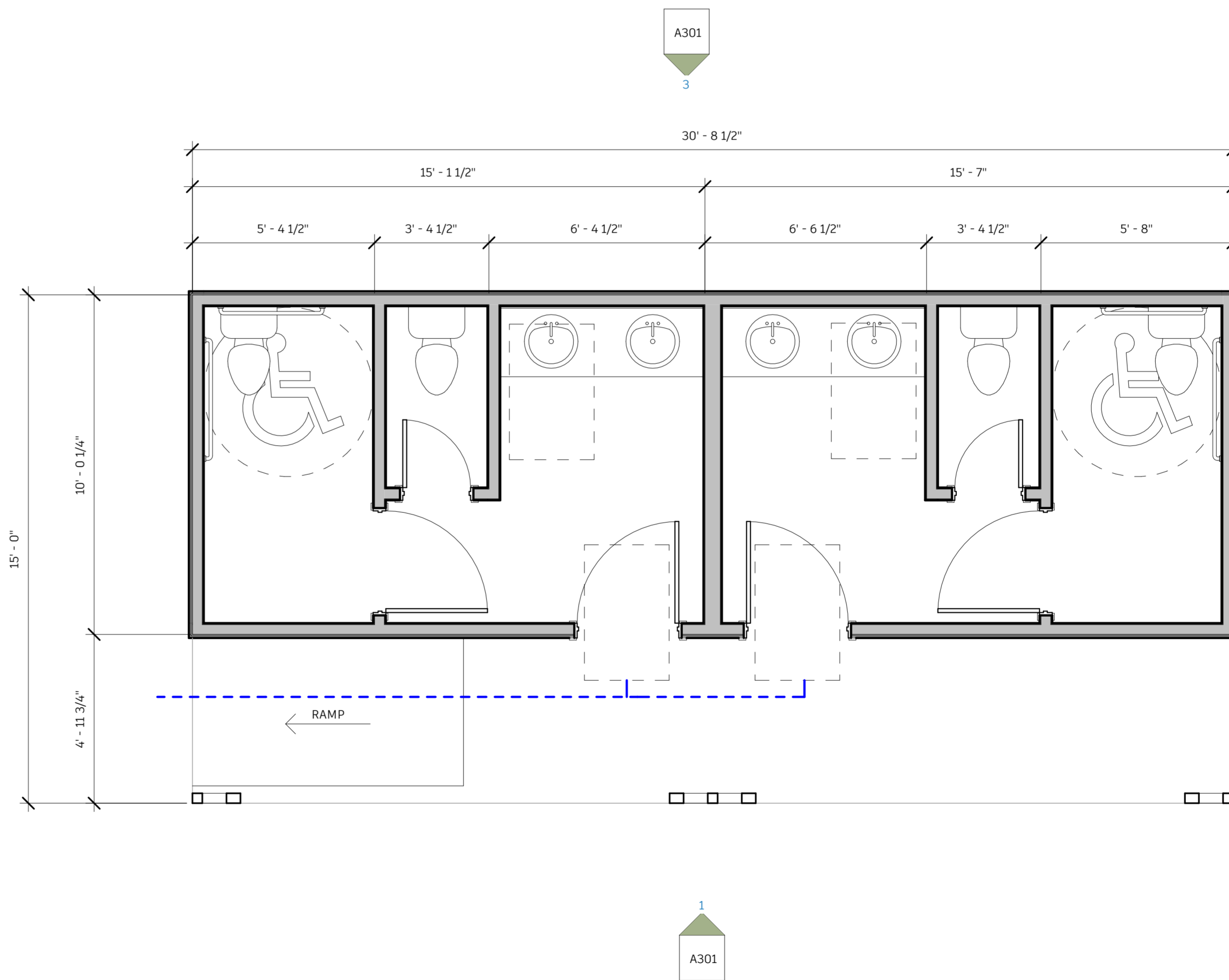
**HUTTO FOOD TRUCK PARK**  
106 FARLEY ST., HUTTO, TX 78634

**A300**

BATHROOM FLOOR  
PLAN

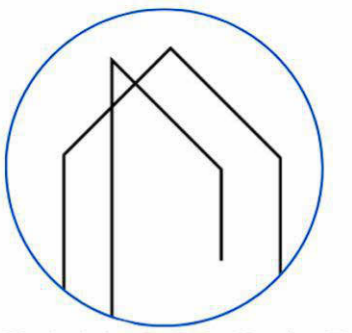


② ROOF  
3/8" = 1'-0"



① 1ST FLOOR BATHROOMS  
3/8" = 1'-0"

VISITABILITY LEGEND	
	ACCESSIBLE / EGRESS ROUTE
	MIN CLEAR SPACE
	EXIT SIGN DISPLAY 216.4.1 EXIT DOORS, DOORS AT EXIT PASSAGEWAY, EXIT DISCHARGE AND EXIT STAIRWAYS SHALL BE IDENTIFIED BY TACTILE SIGNS COMPLYING WITH 703.1, 703.2
	FIRE EXTINGUISHER CABINET, RECESSED. PROVIDE OCCULT CABINET, STAINLESS FINISH WITH VERTICAL DUO WINDOW
	VISITABLE ENTRANCE VISITABLE NO STEP ENTRY MAX 1/2" BEVELED THRESHOLD 3'X3' MIN LANDING WITH MAX 1/4" / FT SLOPE



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3/8" = 1'-0"

3/8" = 1'-0"

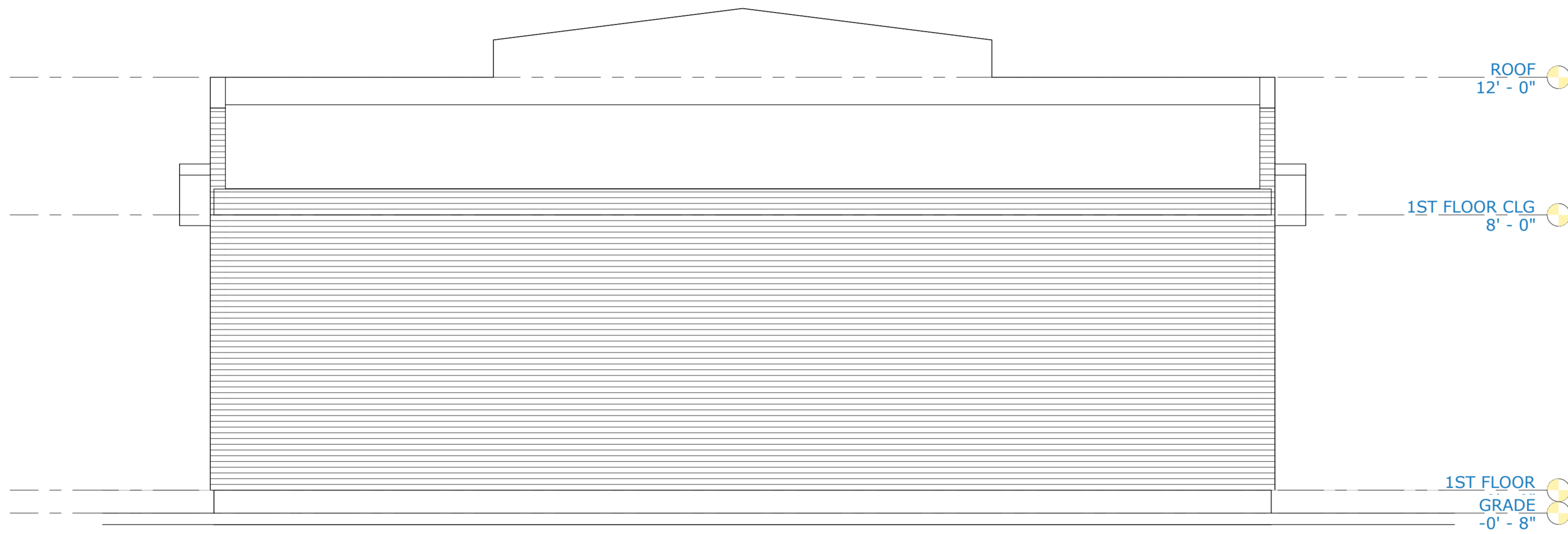
PROJECT # 2025-38

HUTTO FOOD TRUCK PARK

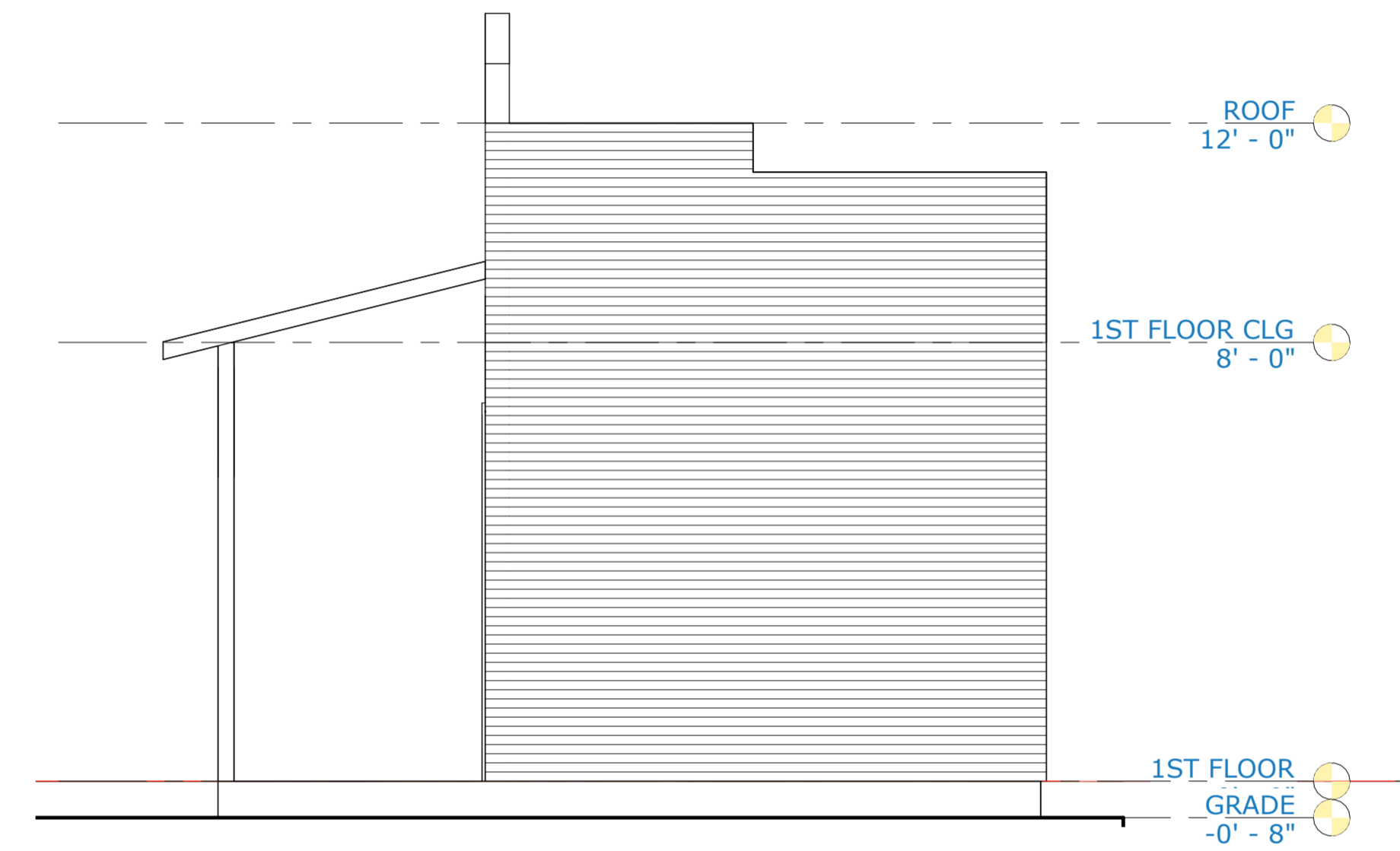
106 FARLEY ST., HUTTO, TX 78634

A301

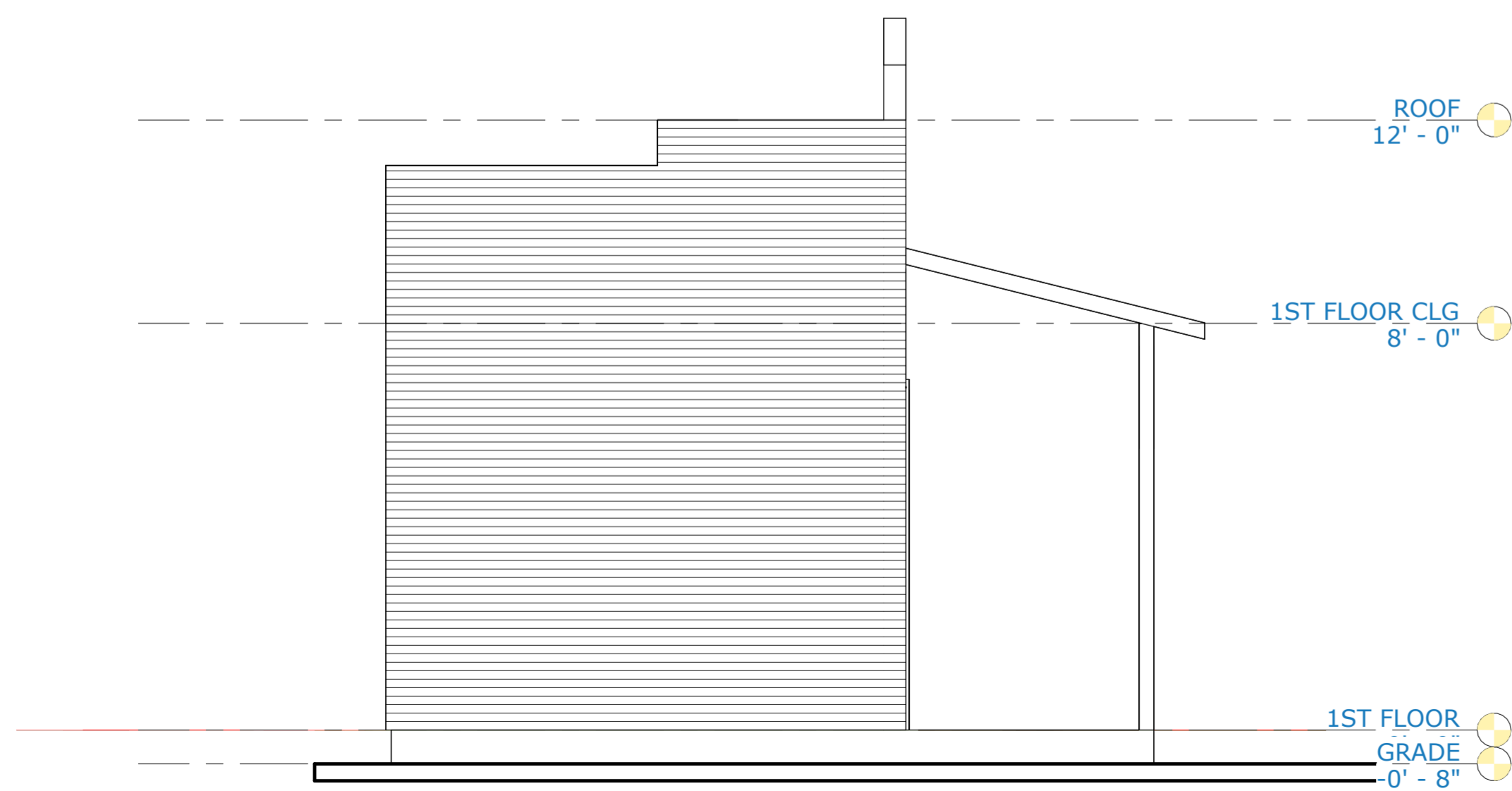
BATHROOM  
ELEVATIONS



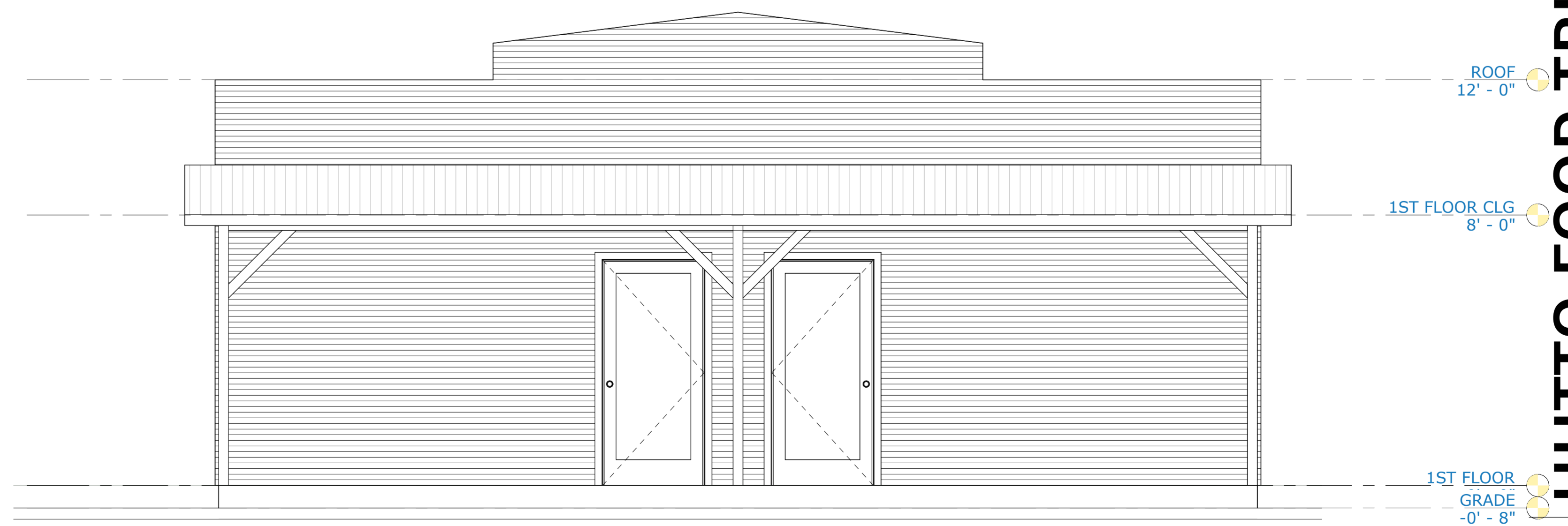
③ Elevation 1 - a  
3/8" = 1'-0"



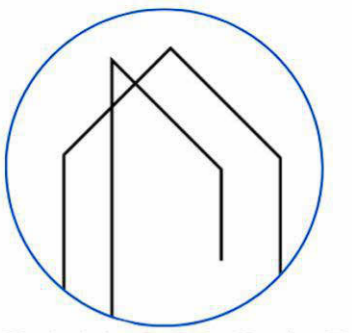
④ RIGHT ELEVATION  
3/8" = 1'-0"



② LEFT ELEVATION  
3/8" = 1'-0"



① FRONT ELEVATION  
3/8" = 1'-0"



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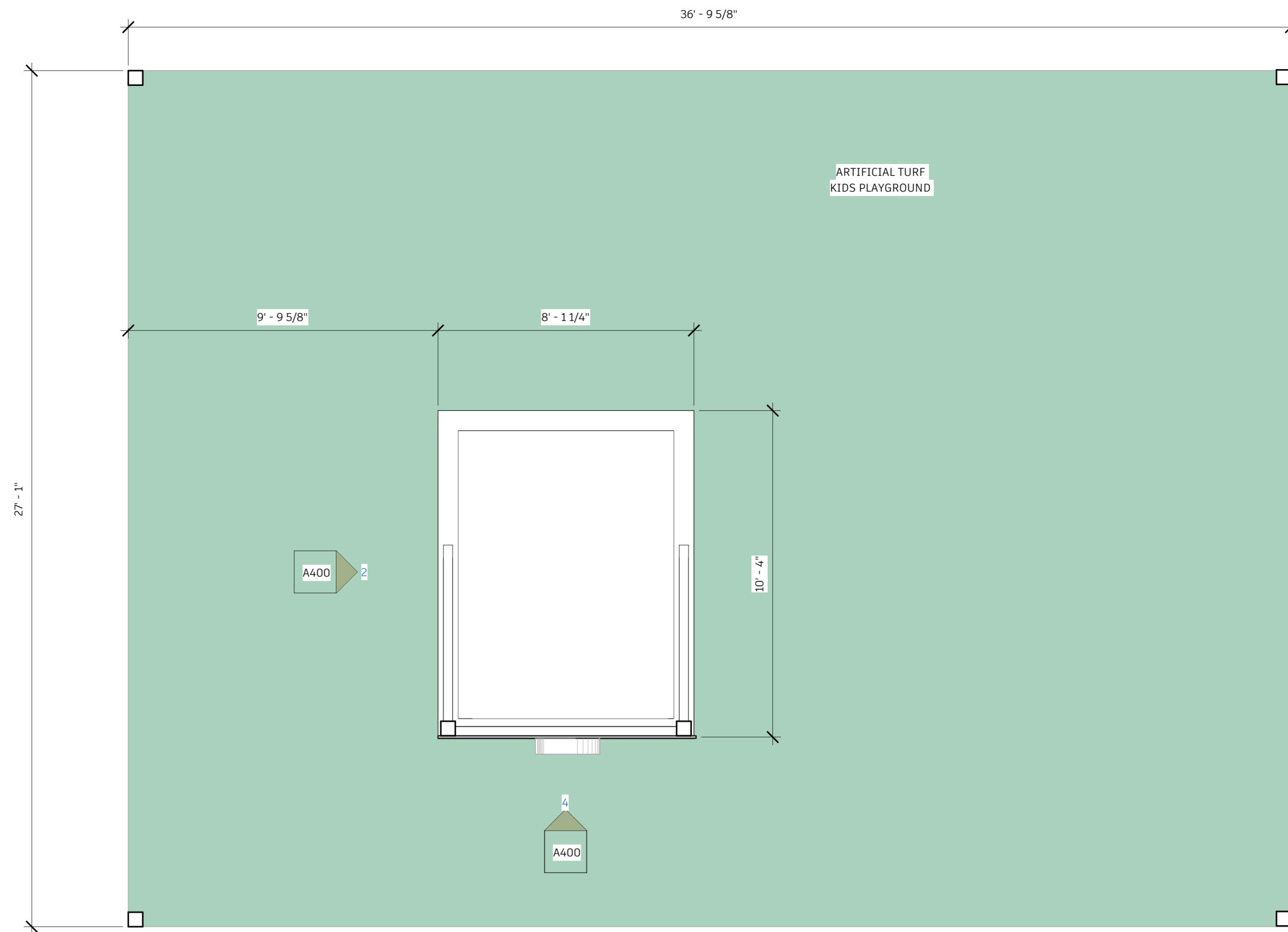
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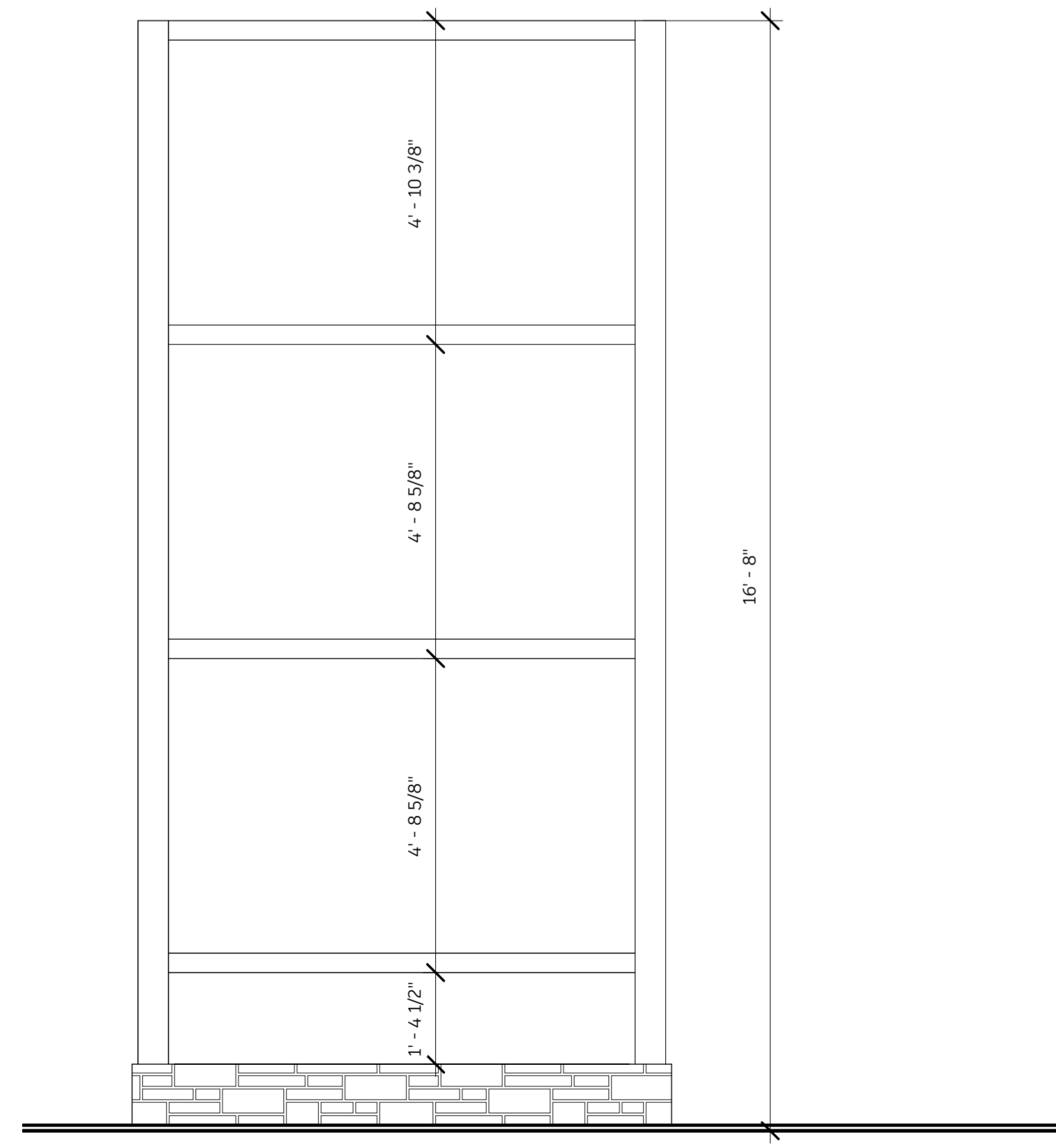
As indicated

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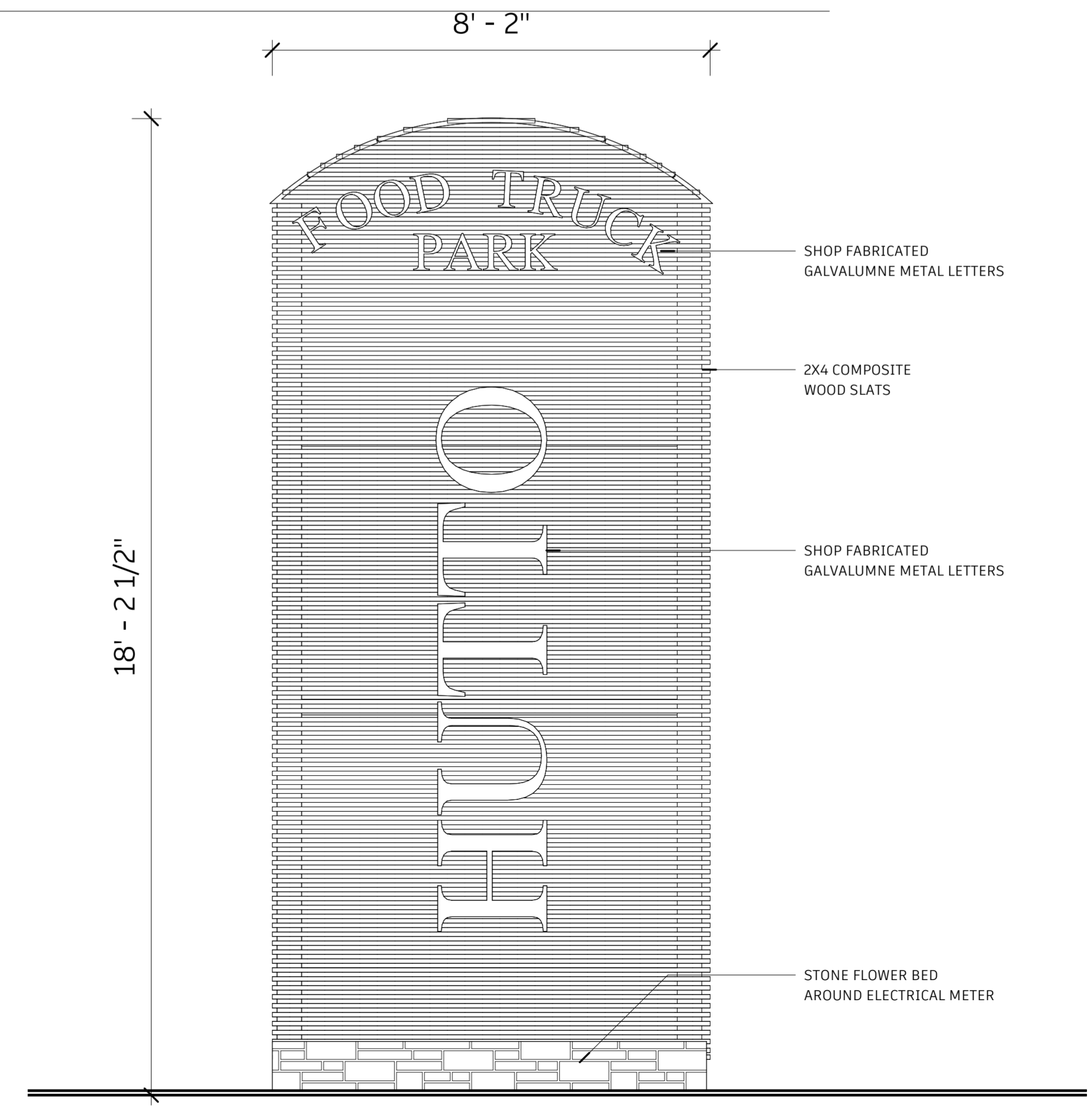
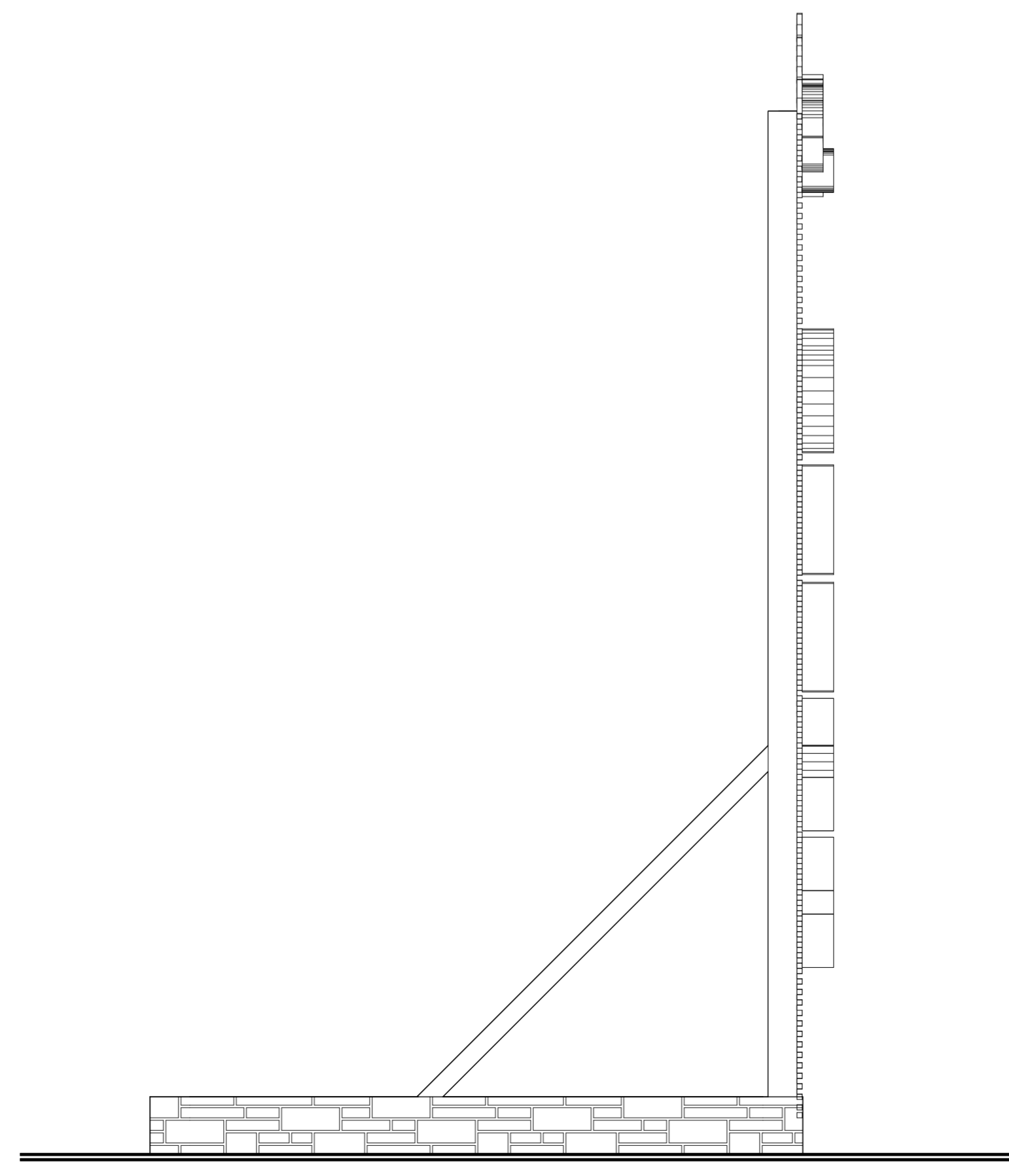
PROJECT # 2025-38



③ MONUMENT WALL  
3/8" = 1'-0"



④ FRONT VIEW - MONUMENT STRUCTURE  
1/2" = 1'-0"



① FRONT VIEW - MONUMENT WALL  
1/2" = 1'-0"

**HUTTO FOOD TRUCK PARK**

106 FARLEY ST , HUTTO, TX 78634

**A400**

MONUMENT WALL

# AGENDA ITEM REPORT

## 4.6.



**To:** Historic Preservation Commission  
**Subject:** Consideration and possible action on a certificate of appropriateness for a roof replacement at 104 W metcalfe street.  
**Meeting:** Wednesday, January 28, 2026  
**Department:** Development Services  
**Staff Contact:** Manny Hernandez

### BACKGROUND INFORMATION:

The property located at 104 Metcalfe St has a deteriorating roof. The homeowner is seeking to replace the roof with a metal roof. Roof replacement that is not like for like materials requires a certificate of appropriateness within the historic district.

### SUMMARY OF REQUEST:

### STAFF REVIEW:

### FISCAL NOTES:

### POLICY IMPLICATIONS:

### ATTACHMENTS:

1. 104 Metcalfe Narrative
2. 104 West Metcalfe Street, Hutto, Texas, United States
3. 104 West Metcalfe Roof Material

## Scope of Work for Reroofing Project

Project Address: 104 Metcalfe St W, Hutto, TX

Structures Involved: Main Dwelling, Detached Garage, and Shed

Roofing System: 24-Gauge Double Lock Standing Seam Metal (Kynar 500 Finish)

Architectural Modifications: None — existing roof structure, penetrations, and substructure remain unchanged

### 1. Project Overview

This project entails the complete removal of the existing asphalt shingle roofing system and the installation of a new standing seam metal roof across all designated structures. The work will be executed in accordance with applicable local building codes, manufacturer specifications, and industry's best practices. No changes will be made to the architectural layout or structural components of the roof.

### 2. Scope of Work

#### A. Permitting & Code Compliance

- Secure all required building permits from the City of Hutto prior to project initiation.
- Ensure full compliance with the International Residential Code (IRC), local amendments, and applicable zoning regulations.

#### B. Removal & Decking Inspection

- Remove all existing roofing materials down to the roof sheathing.
- Conduct a thorough inspection of exposed decking for signs of rot, deterioration, or structural compromise.
- Replace any damaged decking with code-compliant materials.

#### C. Site Protection & Waste Management

- Implement protective measures for landscaping, driveways, and adjacent structures throughout the duration of the project.
- Perform daily cleanup of debris and ensure off-site disposal in accordance with environmental guidelines.
- Conduct final site cleanup upon project completion.

#### D. Installation of Standing Seam Metal Roof System

- Panel Specification: 24-gauge Galvalume, double lock profile with Kynar 500 finish.
- Underlayment:
  - High-temperature Ice and Water Shield (IWS) installed in valleys and around all roof penetrations.
  - 30lb synthetic underlayment installed over all roof decking.
- Flashing Components:
  - Roof jacks and PJ flashings for all penetrations.
  - Drip edge installed along all rake and eave edges.
  - Flashings installed at all roof-to-wall transitions.

- Penetration Detailing:
- All roof penetrations (vents, pipes, etc.) painted to match the selected roof color.
- Ventilation:
- Existing venting configuration will be maintained unless otherwise specified.

#### E. Final Inspection & Documentation

- Conduct a comprehensive final inspection to verify installation quality and code compliance.
- Perform a walkthrough with the property owner to review completed work and address any concerns.
- Provide warranty documentation and maintenance guidelines for the installed roofing system.

#### 3. Material Specifications

- Metal Type: 24-gauge Galvalume
- Finish: Kynar 500 (color to be selected by homeowner)



# Roof Report

Prepared by Roofr

104 West Metcalfe Street, Hutto, TX 78634

Eric Burton

ericburtonmgmt@gmail.com

2145436345

4755 sqft

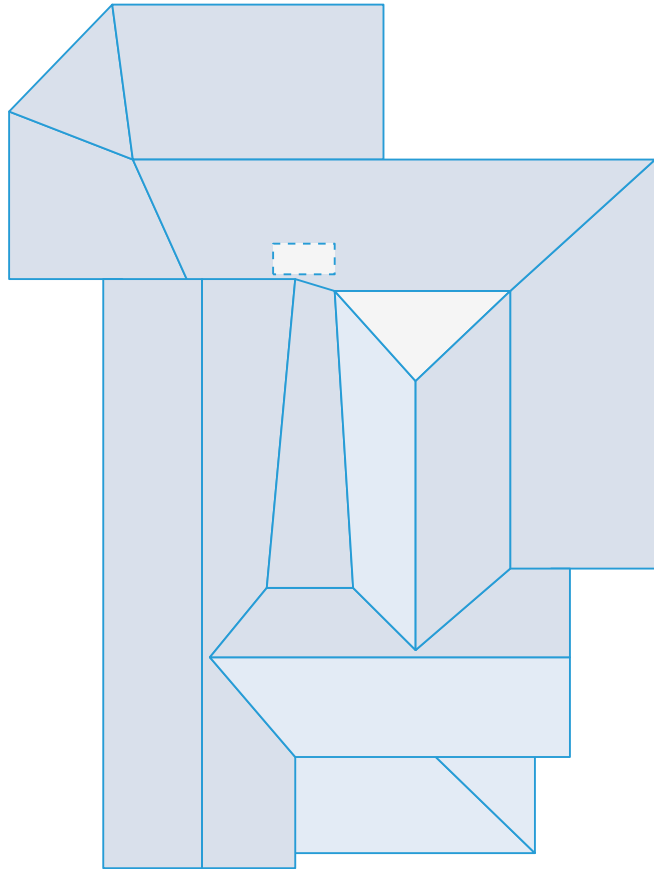
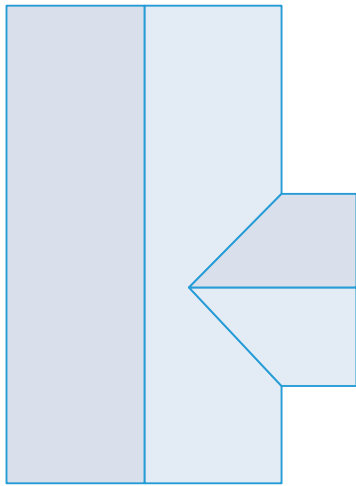
22 facets

Predominant pitch 12/12



# Diagram

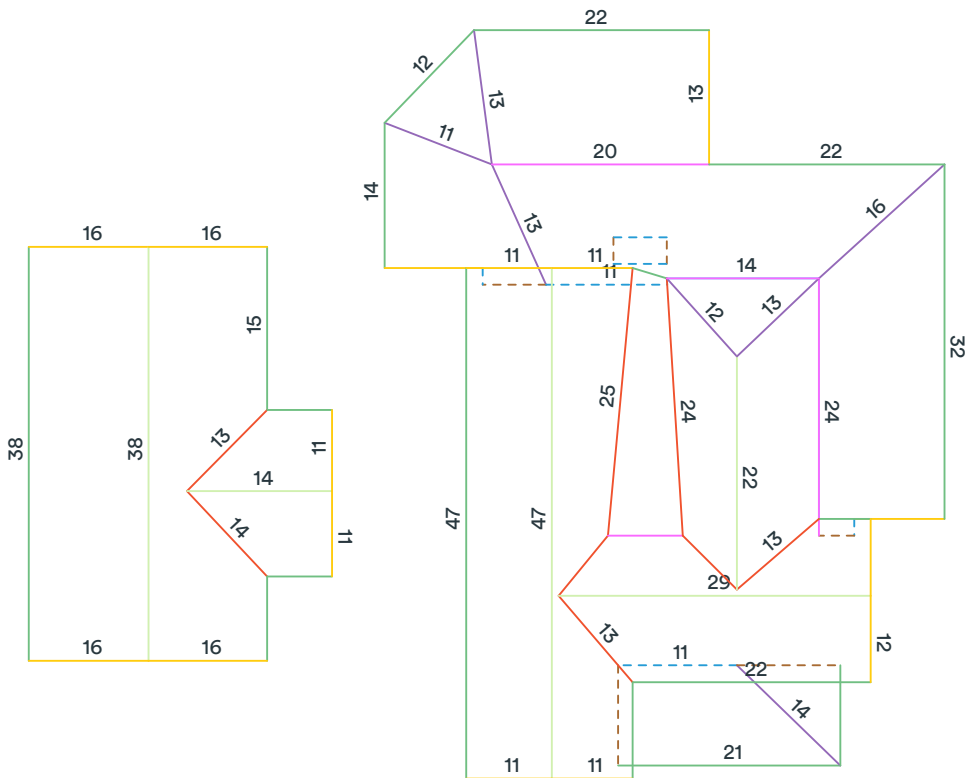
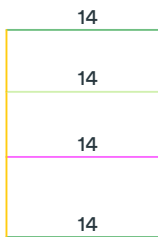
104 West Metcalfe Street, Hutto, TX 78634



# Length measurement report

104 West Metcalfe Street, Hutto, TX 78634

- Eaves: 312ft 4in
- Valleys: 116ft 1in
- Hips: 88ft 5in
- Ridges: 160ft 0in
- Rakes: 213ft 11in
- Wall flashing: 34ft 4in
- Step flashing: 33ft 5in
- Transitions: 77ft 5in
- Parapet wall: 0ft 0in
- Unspecified: 36ft 1in



Measurements in diagram are rounded up for display. Some edge lengths may be hidden from diagram to avoid overcrowding.

# Area measurement report

104 West Metcalfe Street, Hutto, TX 78634

Total roof area: 4755 sqft

Pitched roof area: 4755 sqft

Flat roof area: 0 sqft

Two story area: 0 sqft

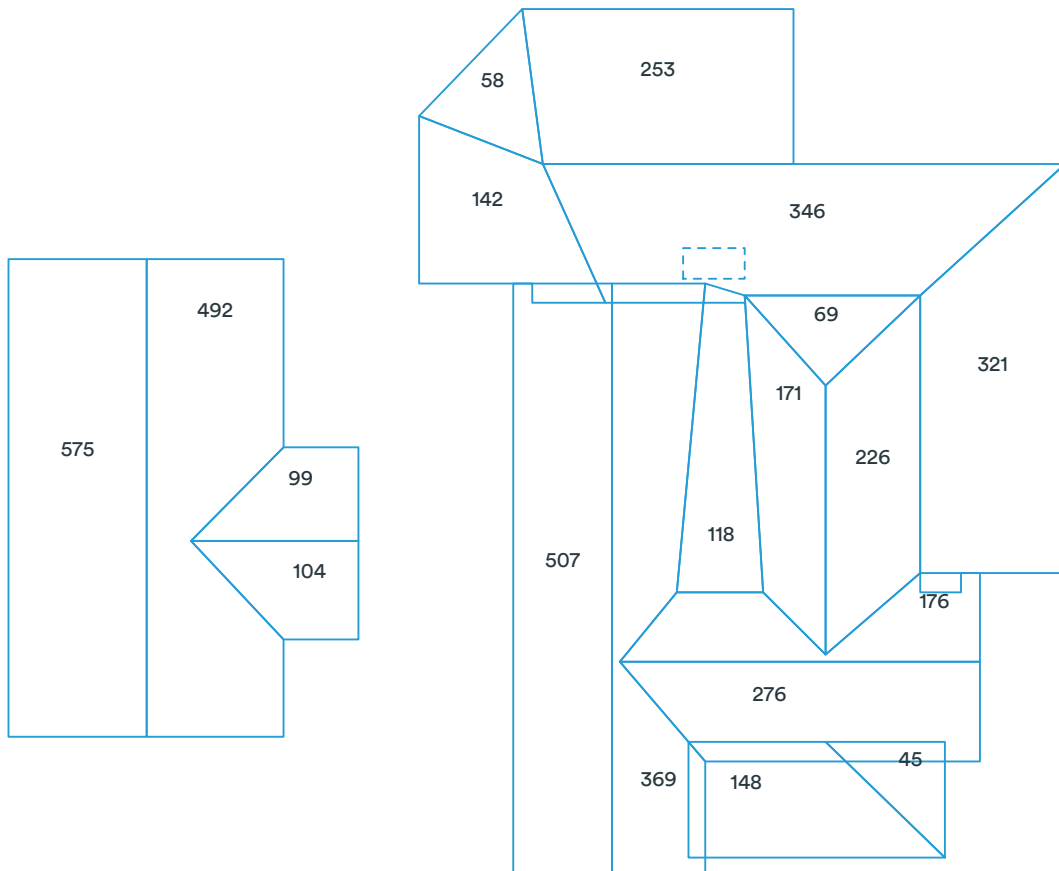
Two layer area: 0 sqft

Predominant pitch: 12/12

Predominant pitch area: 3059 sqft

Unspecified pitch area: 0 sqft

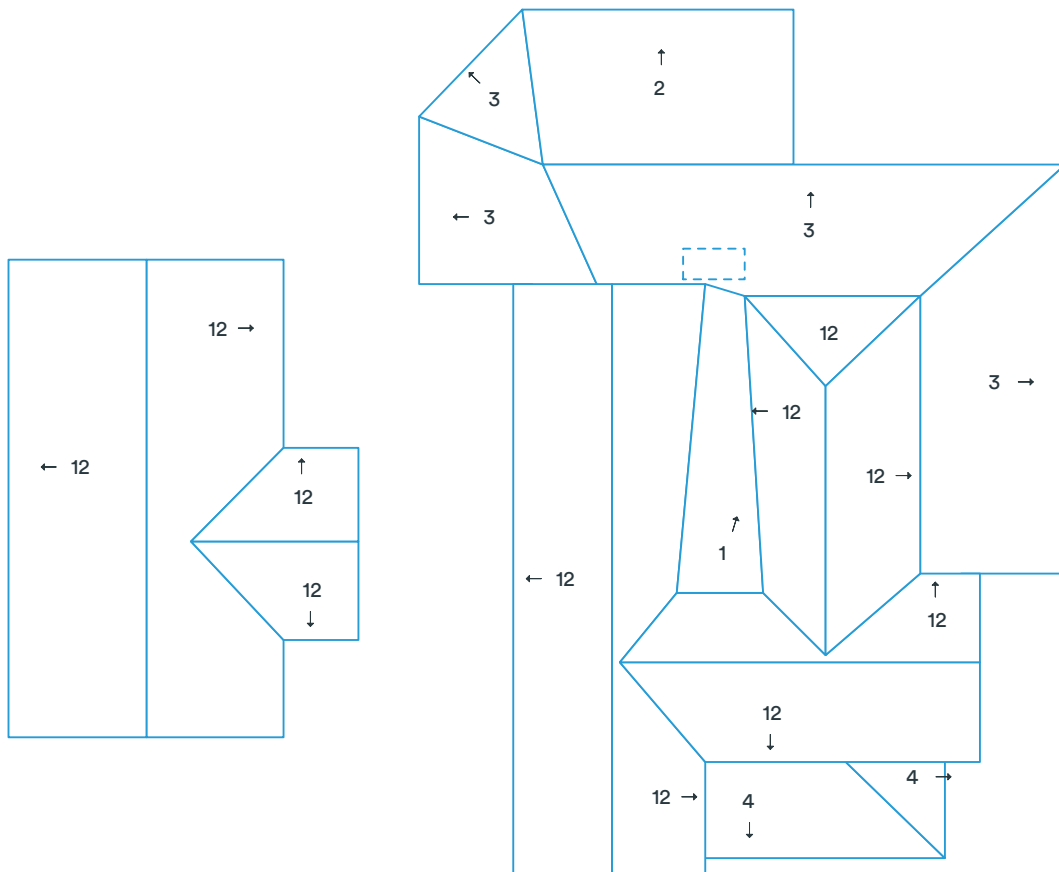
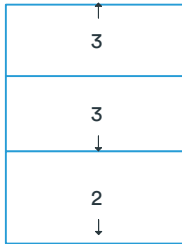
81
86
103



Area measurements in diagram are rounded. The totals at the top of the page are the sums of the exact measurements, which are then rounded. Deleted facets (skylights, chimneys, etc.) are designated with a dashed line and are excluded from the calculations.

# Pitch & direction measurement report

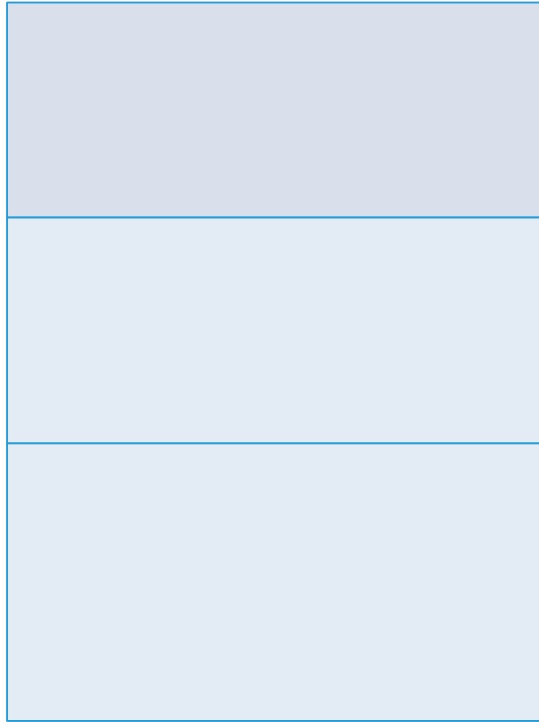
104 West Metcalfe Street, Hutto, TX 78634



Deleted facets are designated with a dashed line and do not have a pitch.

## Structure #1 summary

104 West Metcalfe Street, Hutto, TX 78634



### Measurements

Total roof area	269 sqft
Total pitched area	269 sqft
Total flat area	0 sqft
Total roof facets	3 facets
Predominant pitch	3/12
Total eaves	28ft 0in
Total valleys	0ft 0in
Total hips	0ft 0in
Total ridges	14ft 0in
Total rakes	38ft 4in
Total wall flashing	0ft 0in
Total step flashing	0ft 0in
Total transitions	14ft 0in
Total parapet wall	0ft 0in
Total unspecified	0ft 0in
Hips + ridges	14ft 0in
Eaves + rakes	66ft 4in

Pitch	2/12	3/12
Area (sqft)	103	166
Squares	1.1	1.7

### Recommended

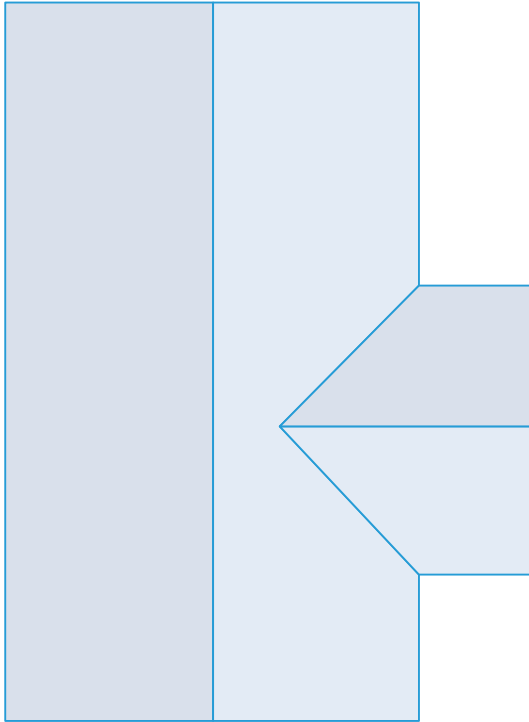
Waste %	10%	12%	15%	17%	18%	20%	22%
Area (sqft)	296	302	310	315	318	323	329
Squares	3.0	3.1	3.1	3.2	3.2	3.3	3.3

Recommended waste is based on an asphalt shingle roof with a closed valley system (if applicable). Several other factors are involved in determining which waste percentage to use, including the complexity of the roof and individual roof application style. You will also need to calculate the post-waste quantity of other materials needed (hip and ridge caps, starter shingle, etc.).

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## Structure #2 summary

104 West Metcalfe Street, Hutto, TX 78634



### Measurements

Total roof area	1269 sqft
Total pitched area	1269 sqft
Total flat area	0 sqft
Total roof facets	4 facets
Predominant pitch	12/12
Total eaves	71ft 6in
Total valleys	25ft 9in
Total hips	0ft 0in
Total ridges	50ft 7in
Total rakes	82ft 3in
Total wall flashing	0ft 0in
Total step flashing	0ft 0in
Total transitions	0ft 0in
Total parapet wall	0ft 0in
Total unspecified	0ft 0in
Hips + ridges	50ft 7in
Eaves + rakes	153ft 10in

Pitch 12/12

Area (sqft) 1,269

Squares 12.7

### Recommended

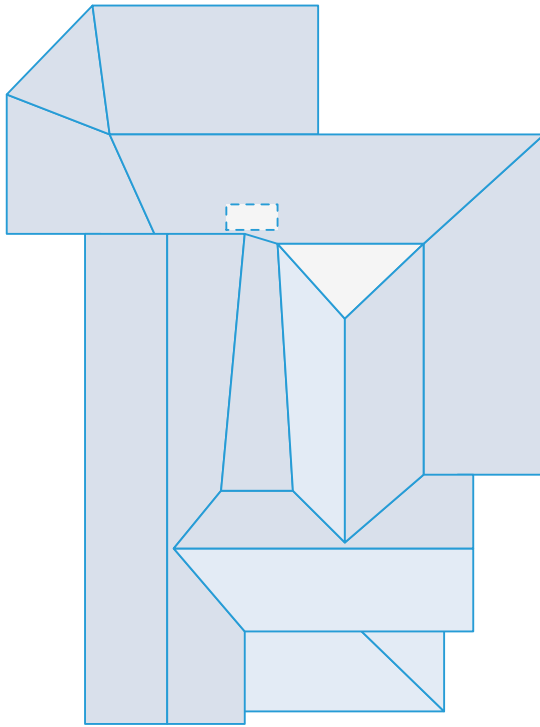
Waste %	0%	10%	11%	12%	15%	17%	20%
Area (sqft)	1,269	1,396	1,409	1,421	1,459	1,485	1,523
Squares	12.7	14.0	14.1	14.3	14.6	14.9	15.3

Recommended waste is based on an asphalt shingle roof with a closed valley system (if applicable). Several other factors are involved in determining which waste percentage to use, including the complexity of the roof and individual roof application style. You will also need to calculate the post-waste quantity of other materials needed (hip and ridge caps, starter shingle, etc.).

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## Structure #3 summary

104 West Metcalfe Street, Hutto, TX 78634



### Measurements

Total roof area	3218 sqft
Total pitched area	3218 sqft
Total flat area	0 sqft
Total roof facets	15 facets
Predominant pitch	12/12
Total eaves	212ft 10in
Total valleys	90ft 4in
Total hips	88ft 5in
Total ridges	95ft 6in
Total rakes	93ft 4in
Total wall flashing	34ft 4in
Total step flashing	33ft 5in
Total transitions	63ft 5in
Total parapet wall	0ft 0in
Total unspecified	36ft 1in
Hips + ridges	183ft 11in
Eaves + rakes	306ft 2in

Pitch	1/12	2/12	3/12	4/12	12/12
Area (sqft)	118	253	865	193	1,791
Squares	1.2	2.6	8.7	2.0	18.0

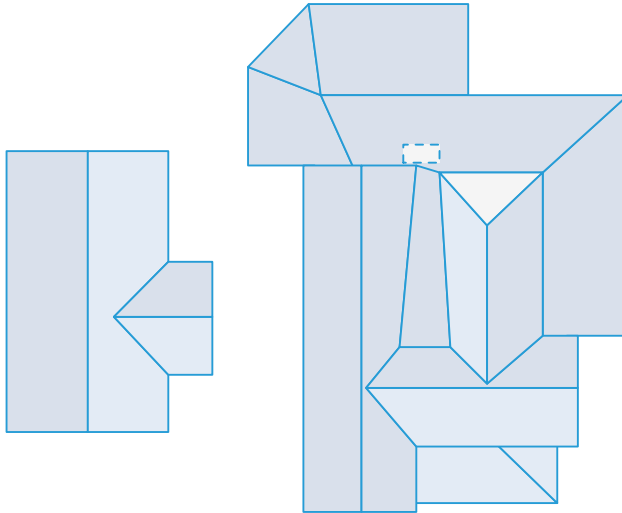
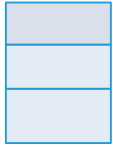
### Recommended

Waste %	0%	10%	12%	13%	15%	17%	20%
Area (sqft)	3,218	3,540	3,604	3,636	3,701	3,765	3,862
Squares	32.2	35.4	36.1	36.4	37.1	37.7	38.7

Recommended waste is based on an asphalt shingle roof with a closed valley system (if applicable). Several other factors are involved in determining which waste percentage to use, including the complexity of the roof and individual roof application style. You will also need to calculate the post-waste quantity of other materials needed (hip and ridge caps, starter shingle, etc.).  
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# Report summary

104 West Metcalfe Street, Hutto, TX 78634



## Measurements

Total roof area	4755 sqft
Total pitched area	4755 sqft
Total flat area	0 sqft
Total roof facets	22 facets
Predominant pitch	12/12
Total eaves	312ft 4in
Total valleys	116ft 1in
Total hips	88ft 5in
Total ridges	160ft 0in
Total rakes	213ft 11in
Total wall flashing	34ft 4in
Total step flashing	33ft 5in
Total transitions	77ft 5in
Total parapet wall	0ft 0in
Total unspecified	36ft 1in
Hips + ridges	248ft 5in
Eaves + rakes	526ft 4in

Pitch	1/12	2/12	3/12	4/12	12/12
Area (sqft)	118	356	1,031	193	3,059
Squares	1.2	3.6	10.4	2.0	30.6

### Recommended

Waste %	0%	10%	12%	13%	15%	17%	20%
Area (sqft)	4,756	5,231	5,326	5,374	5,469	5,564	5,707
Squares	47.6	52.4	53.3	53.8	54.7	55.7	57.1

Recommended waste is based on an asphalt shingle roof with a closed valley system (if applicable). Several other factors are involved in determining which waste percentage to use, including the complexity of the roof and individual roof application style. You will also need to calculate the post-waste quantity of other materials needed (hip and ridge caps, starter shingle, etc.).  
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# Material calculations

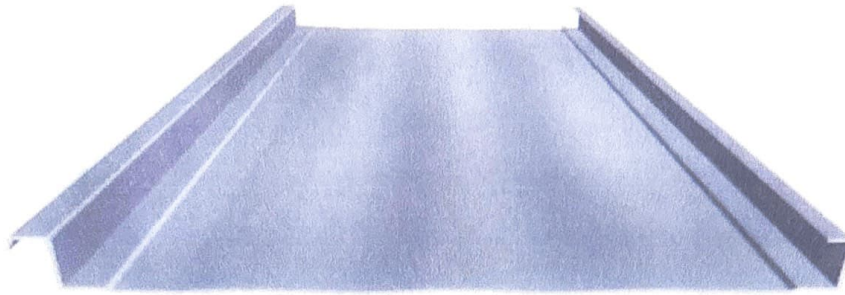
104 West Metcalfe Street, Hutto, TX 78634

Product	Unit	Waste (0%)	Waste (10%)	Waste (13%)	Waste (15%)
Shingle (total sqft)		4,756 sqft	5,231 sqft	5,374 sqft	5,469 sqft
IKO - Cambridge	bundle	143	158	162	165
CertainTeed - Landmark	bundle	145	160	164	167
GAF - Timberline	bundle	145	160	164	167
Owens Corning - Duration	bundle	145	160	164	167
Atlas - Pristine	bundle	145	159	163	166
Starter (eaves + rakes)		527 ft	579 ft	595 ft	606 ft
IKO - Leading Edge Plus	bundle	5	5	6	6
CertainTeed - SwiftStart	bundle	5	5	6	6
GAF - Pro-Start	bundle	5	5	5	6
Owens Corning - Starter Strip	bundle	6	6	6	6
Atlas - Pro-Cut	bundle	4	5	5	5
Ice and Water (eaves + valleys + flashings)		497 ft	546 ft	561 ft	571 ft
IKO - StormShield	roll	8	9	9	9
CertainTeed - WinterGuard	roll	8	9	9	9
GAF - WeatherWatch	roll	8	9	9	9
Owens Corning - WeatherLock	roll	7	8	8	8
Atlas - Weathermaster	roll	8	9	9	9
Synthetic (total sqft; no laps)		4,756 sqft	5,231 sqft	5,374 sqft	5,469 sqft
IKO - Stormtite	roll	5	6	6	6
CertainTeed - RoofRunner	roll	5	6	6	6
GAF - Deck-Armor	roll	5	6	6	6
Owens Corning - RhinoRoof	roll	5	6	6	6
Atlas - Summit	roll	5	6	6	6
Capping (hips + ridges)		249 ft	274 ft	281 ft	286 ft
IKO - Hip and Ridge	bundle	7	7	8	8
CertainTeed - Shadow Ridge	bundle	9	10	10	10
GAF - Seal-A-Ridge	bundle	10	11	12	12
Owens Corning - DecoRidge	bundle	13	14	15	15
Atlas - Pro-Cut H&R	bundle	9	9	10	10
Other					
8' Valley (no laps)	sheet	15	16	17	17
10' Drip Edge (eaves + rakes; no laps)	sheet	53	58	60	61

These calculations are estimates and are not guaranteed. Always double check calculations before ordering materials. Estimates are based off of the total pitched area (i.e., flat area is excluded).

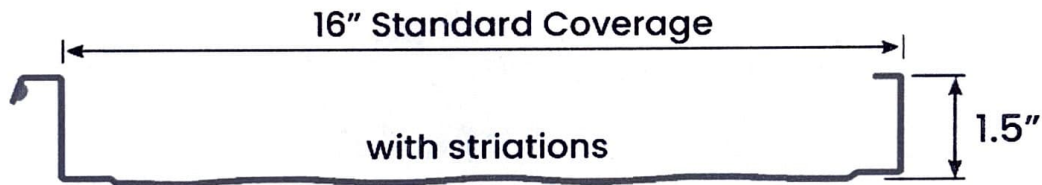
# STANDING SEAM 150

## STANDING SEAM FASTENER



Standing Seam 150 Panels blend contemporary style with quality for a sturdy and highly attractive roof. Ideal for low sloping, long spanning roofs in climates with extreme temperatures. Has impressive load abilities!

<b>Panel Type:</b>	Roof, Wall	<b>Fasteners:</b>	Mechanically Seamed
<b>Panel Coverage:</b>	16"	<b>Available Material:</b>	Steel
<b>Custom Coverage:</b>	18"	<b>Available</b>	Open Framing,
<b>Rib Height:</b>	1.5"	<b>Substrates:</b>	Solid Substrate
<b>Standard Gauge:</b>	26 ga.	<b>Standard Finishes:</b>	Acrylic Coated
<b>Custom Gauge:</b>	24 ga.		Galvalume®



<b>Drip/Eave</b>	<b>Gable</b>	<b>Ridge Cap</b>	<b>Sidewall</b>	<b>Endwall</b>	<b>Valley</b>
<b>Peak Ridge</b>	<b>Transition</b>	<b>Backpan</b>		<b>Z-Bar</b>	<b>J-channel</b>

\*custom trim available upon request



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# AGENDA ITEM REPORT

## 4.7.



**To:** Historic Preservation Commission  
**Subject:** Discussion regarding an exterior remodel for the property located at 106 HWY 79, also known as Hutto Autoplex.  
**Meeting:** Wednesday, January 28, 2026  
**Department:** Development Services  
**Staff Contact:** Manny Hernandez

### BACKGROUND INFORMATION:

The property located at 106 HWY 79 is considered a contributing structure. Prior to submitting plans, the applicant is seeking some guidance from the commission regarding architectural guidelines.

### SUMMARY OF REQUEST:

### STAFF REVIEW:

### FISCAL NOTES:

### POLICY IMPLICATIONS:

### ATTACHMENTS:

1. plan - hutto Autoplex

We are looking to do some exterior work on the property at:

**106 HWY 79,  
Hutto, TX 78634**

The process usually takes 1 week and it involves adding a layer to the outer side walls of the building ... the two textures we are looking at is something similar to stucco or limestone. Below are the pictures of the current building and then a couple of rendering for your review. The color palate is still very much changeable but we were trying to go with neutral colors to match the other neighboring buildings.

Further down you will find some examples of other building renderings with the completed work to get an idea of what it could look like. The process involves spray on foam and sculpting...this is more in line with a painting task....No demo will be taking place.

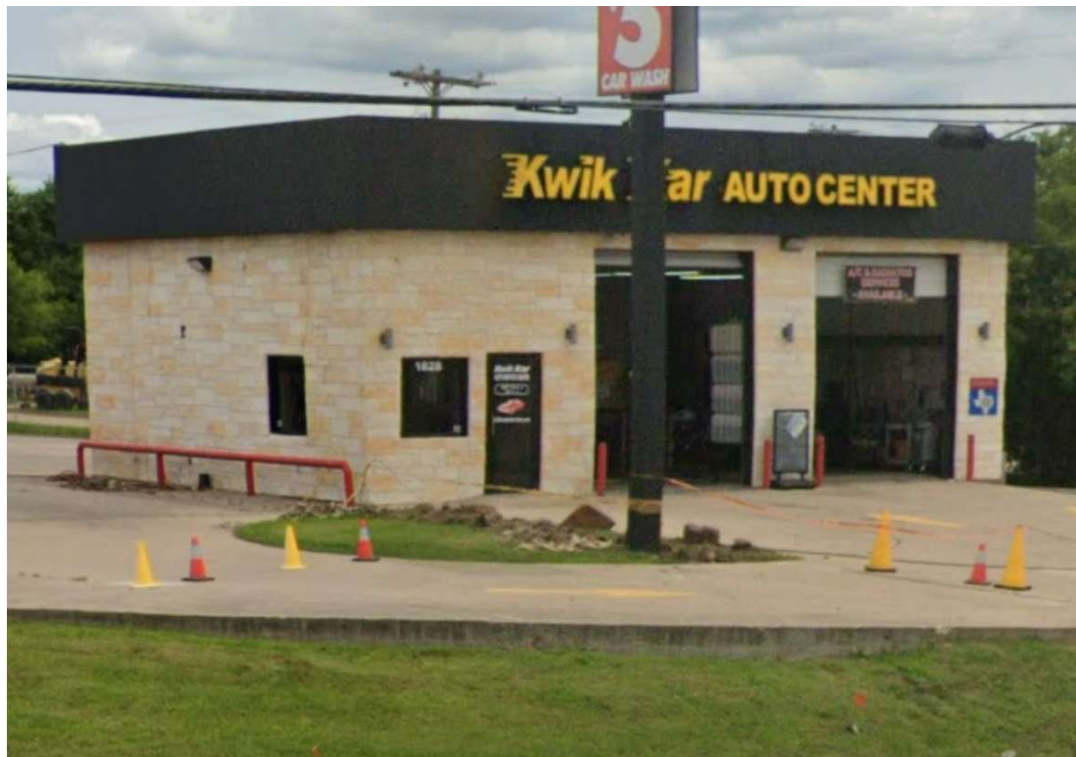
The very last 2 pages are local and I put the addresses down in case you would like to go visit and examine the outside facility.





Below are other sample buildings that were completed by the same GC.





1801 S I-35 Frontage Rd, Round Rock, TX 78664



4721 Airport Blvd Austin TX 78751

