



CITY OF HUTTO, TEXAS
HISTORIC PRESERVATION COMMISSION
REGULAR MEETING
Tuesday, January 28, 2020 AT 6:30 PM
CITY HALL - CITY COUNCIL CHAMBERS
500 WEST LIVE OAK

HISTORIC PRESERVATION COMMISSION

DeAnne Worley
Mary Belton
Curtis Orton
Robert Lykins
Travis Allen

AGENDA

	Page
1. CALL SESSION TO ORDER	
2. ROLL CALL	
3. PUBLIC COMMENT	
3.A. Remarks from visitors. <i>(Three minute time limit.)</i>	
4. AGENDA ITEMS	
4.A. Consideration and possible action on the meeting minutes from the regular scheduled Historic Preservation Commission meeting held on October 22, 2019. Agenda Item Report - AIR-20-039 - Pdf	3 - 6
4.B. Consideration and possible action on a Certificate of Appropriateness for 304 West Live Oak Street. Agenda Item Report - AIR-20-038 - Pdf	7 - 28
4.C. Consideration and possible action on a Certificate of Appropriateness for 106 US 79 West. Agenda Item Report - AIR-20-040 - Pdf	29 - 33
5. ADJOURNMENT	

6 CERTIFICATION

- I certify that this notice of the January 28, 2020 Historic Preservation Commission meeting was posted on the City Hall bulletin board of the City of Hutto on January 24, 2020 at 9:30 AM

Olma Gonzalez
Asst. City Secretary

The City of Hutto is committed to comply with the Americans Disability Act. The Hutto City Council Chamber is wheelchair accessible. Request for reasonable special communications or accommodations must be made 48 hours prior to the meeting. Please contact the City Secretary's Office at (512) 758-4939 or City.Secretary@HuttoTX.gov for assistance.

Historic Preservation
Commission
**AGENDA ITEM
REPORT**



To:

Subject: Consideration and possible action on the meeting minutes from the regular scheduled Historic Preservation Commission meeting held on October 22, 2019.

Meeting: Historic Preservation Commission - 28 Jan 2020

Department: Development Services

Staff Contact: Angel Kavanaugh

BACKGROUND INFORMATION:

Consideration and possible action on the meeting minutes from the regular scheduled Historic Preservation Commission meeting held on October 22, 2019.

ATTACHMENTS:

[10.22.19 HPC Minutes\(Draft\)](#)



MINUTES Historic Preservation Commission Meeting

6:30 PM - Tuesday, October 22, 2019
City Council Chambers

1 CALL SESSION TO ORDER

Meeting was called to order by Chair Lykins at 6:31pm.

2 ROLL CALL

Members of the Historic Preservation Commission that were present at the time of roll call, were Chair Robert Lykins, Commissioner Travis Allen, Commissioner Curtis Orton and Commissioner Mary Belton. DeAnne Worley showed up to the meeting at 6:34pm.

City staff members in attendance were Ashley Lumpkin, Executive Director of Development Services, Ashby Grundman, Director of Development Services, John Byrum, Senior Planner, Allison Easterling, Permit Technician and Alecia Mosadomi, City Attorney.

3 PUBLIC COMMENT

A. *Remarks from visitors. (Three minute time limit.)*

No visitors present.

4 AGENDA ITEMS

A. *Consideration and possible action on the meeting minutes from the regular scheduled Historic Preservation Commission meeting held on August 27, 2019.*

MOTION: Commissioner Travis Allen motioned to pass the minutes from August 27, 2019 and was seconded by Commissioner Curtis Orton. The motion carried with 4 ayes, 0 nays.

B. *Consideration and possible action on a Certificate of Appropriateness for 103 East Live Oak Street.*

MOTION: Commissioner Curtis Orton made a motion to pass the Certificate of Appropriateness for 103 E. Live Oaks Street and was seconded by Commissioner Mary Belton. The motion carried with 5 ayes and 0 nays.

Clarification on House Bill 2439 was given to the commissioners that at this time, we will continue to meet about any new construction in the Historic District of Hutto as our city attorney has interpreted the law to read that we are allowed too based on certain guidelines that Hutto meets. If further clarification or explanation is given by the state, the information will be passed to the commissioners.

There being no further discussion, the meeting adjourned at 6:54pm.

I certify that this notice of the October 22, 2019 Historic Preservation Commission meeting was posted on the City Hall bulletin board of the City of Hutto on October 18, 2019 at _____.

[illegible]

—
—
Lynn
Trumbull,
Senior
Assistant
City
Secretary

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Historic Preservation
Commission
**AGENDA ITEM
REPORT**



To: Historic Preservation Commission
Subject: Consideration and possible action on a Certificate of Appropriateness for 304 West Live Oak Street.
Meeting: Historic Preservation Commission - 28 Jan 2020
Department: Development Services
Staff Contact: John Byrum

BACKGROUND INFORMATION:

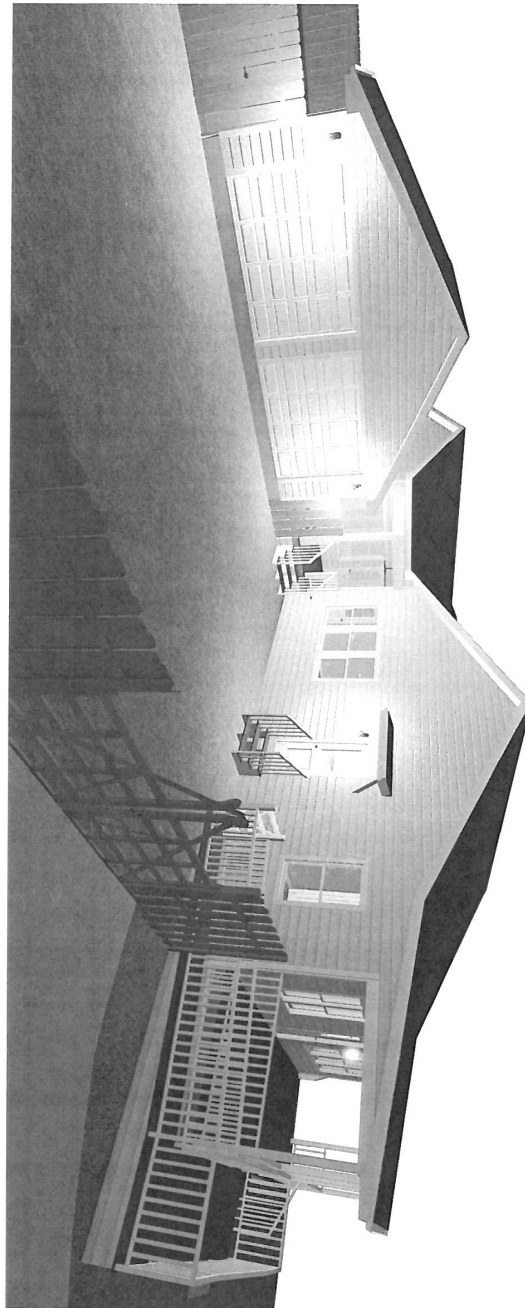
The applicant is requesting a Certificate of Appropriateness to construct an addition to a residential build located at 304 West Live Oak Street. The subject property is currently zoned OT-3.

The proposed addition will be extending the footprint of the home into the rear yard and adding a garage at the end of the driveway. The front of the home will have a porch with steps and a ramp. All exterior siding will be hardie plank (fiber-cement), both vertical and horizontal. The exterior color will be selected from the historically approved colors, most likely Fossil AF-65 or Sonnet AF-55. The proposed addition will increase the home to roughly 1700 square feet of living area.

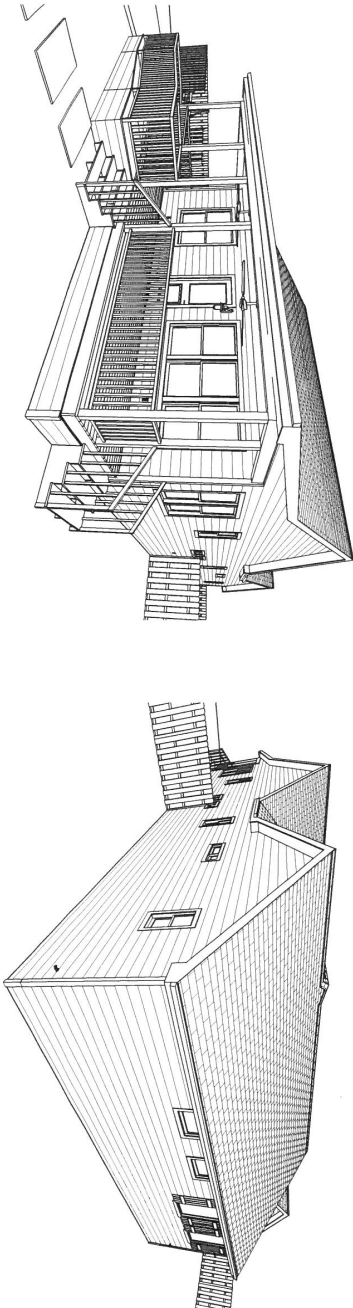
Staff finds that the request is consistent with the standards of the Unified Development Code. Therefore, staff recommends approval of the Certificate of Appropriateness for the addition to the residential home located at 304 West Live Oak Street.

ATTACHMENTS:

[304 W Live Oak St COA Plans](#)



ALEXANDER RESIDENCE



PROJECT MANAGER:
WEEDER & CONSTRUCTION

KEEPERS CONSULTING
3712 APPLE VISTA CIRCLE
PFLUGERVILLE, TEXAS 78660
512-550-6508

STRUCTURAL ENGINEER:

TUCKER ENGINEERING
1311 CHISHOLM TRAIL #303
ROUND ROCK, TEXAS 78681
512-255-7477

SURVEYOR:

B&G SURVEYING INC.
1404 WEST NORTH LOOP BLVD
AUSTIN, TEXAS 78756
512-458-1009

PROJECT DETAILS:

OWNER(S):
BUTCH & CAROL ALEXANDER
ADDRESS:

LEGAL DESCRIPTION:

RAILROAD, BLOCK 14, LOT 45 (S/PT)
COUNTY:
WILLIAMSON COUNTY

GPS COORDINATES

LAT: 30.545488
LON: -97.5497306

GENERAL NOTES

[illegible]

SHEET INDEX
PITION

#	DESCRIPTION
1	COVER SHEET
2	EXISTING PLAT SURVEY
3	NEW SITE PLAN
4	AS-BUILT DRAWINGS
5	NEW FLOOR PLAN
6	NEW ROOF PLAN
7	NEW EXTERIOR ELEVATIONS
8	NEW EXTERIOR ELEVATIONS
9	NEW ELECTRICAL PLAN
10	INTERIOR ELEV & CABINET DETAILS
11	GENERAL NOTES

BUILDING DESIGN CRITERIA

THIS BUILDING IS TO CONFORM TO THE FOLLOWING STATE CODES:

- 2915 INTERNATIONAL RESIDENTIAL CODE
- 2915 INTERNATIONAL FUEL CODE
- 2915 INTERNATIONAL MECHANICAL CODE
- 2915 INTERNATIONAL PLUMBING CODE
- 2915 INTERNATIONAL ENERGY CONSERVATION CODE
- 2915 INTERNATIONAL EXISTING BUILDING CODE
- 2914 NATIONAL ELECTRIC CODE

ALEXANDER RESIDENCE

304 W. LIVE OAK STREET
RAILROAD, BLOCK 14, LOT 4-5 (S/PT)
HUTTO, TX 78634
WILLIAMSON COUNTY

PROJECT ID	19072700.0
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DATE 10-25-2019

REV	DATE	DESCRIPTION
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ADVANTAGE PERSON GROUP LTD ADVANTAGE

COMBINATION AND MAINTAINMENT OF THE TWO TO ACHIEVE THE BEST RESULTS.

COGNAC AND ART. BOTTLED BY A. J. COGNAC, 1000 N. 10TH ST., PHOENIX, ARIZONA. (SEE PAGE 10)

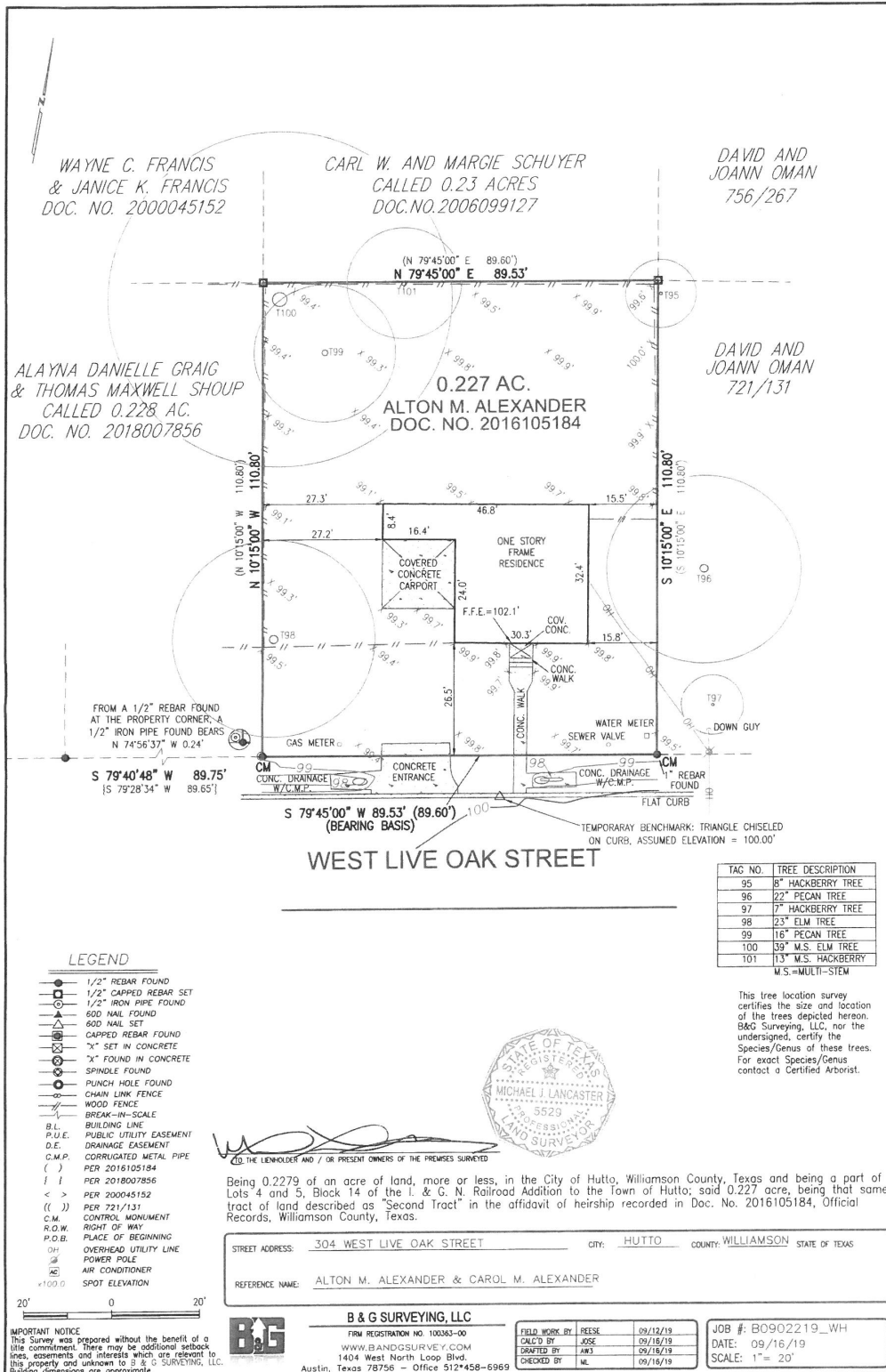
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TITLE

SHEI

SHEET



SHEET TITLE

EXISTING PLAT SURVEY

SCALE: 1" = 100.0'

REV. DATE DESCRIPTION

10/26/2019

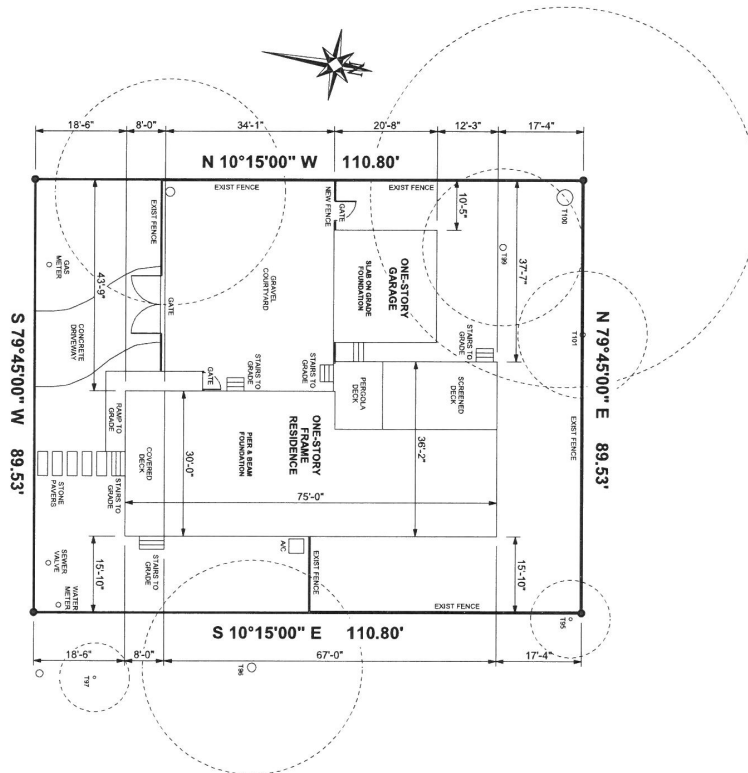
PROJECT ID: 1007700.0

ALEXANDER RESIDENCE

304 W. LIVE OAK STREET
RAILROAD, BLOCK 14, LOT 4-5 (S/PT)
HUTTO, TX 78634
WILLIAMSON COUNTY

ADG
ADAMANT DESIGN GROUP
TEXAS PREMIER HILL COUNTRY DESIGNER
116 HOLLAND STREET, HUTTO, TEXAS 78634
(512) 927-7469 INFO@ADG-TX.COM
WWW.ADG-TX.COM

WEST LIVE OAK STREET



GENERAL NOTES	
1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND THE LATEST EDITIONS OF THE TEXAS ELECTRICAL, MECHANICAL, AND PLUMBING CODES.	11. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND THE LATEST EDITIONS OF THE TEXAS ELECTRICAL, MECHANICAL, AND PLUMBING CODES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.	12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.	13. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.	14. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.	15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.	16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.	17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.	18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.	19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.	20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.

ALEXANDER RESIDENCE

304 W. LIVE OAK STREET
RAILROAD, BLOCK 14, LOT 4-S (S/PT)
HUTTO, TX 78634
WILLIAMSON COUNTY

ADG
ADVANT DESIGN GROUP

TEXAS PREMIER HILL COUNTRY DESIGNER

116 HOLLAND STREET HUTTO, TEXAS 78634
512.927.4242 FAX 512.927.4243
WWW.ADG-TX.COM

PROJECT ID 1907700.0

DATE 10-20-2019

REV **DATE** **DESCRIPTION**

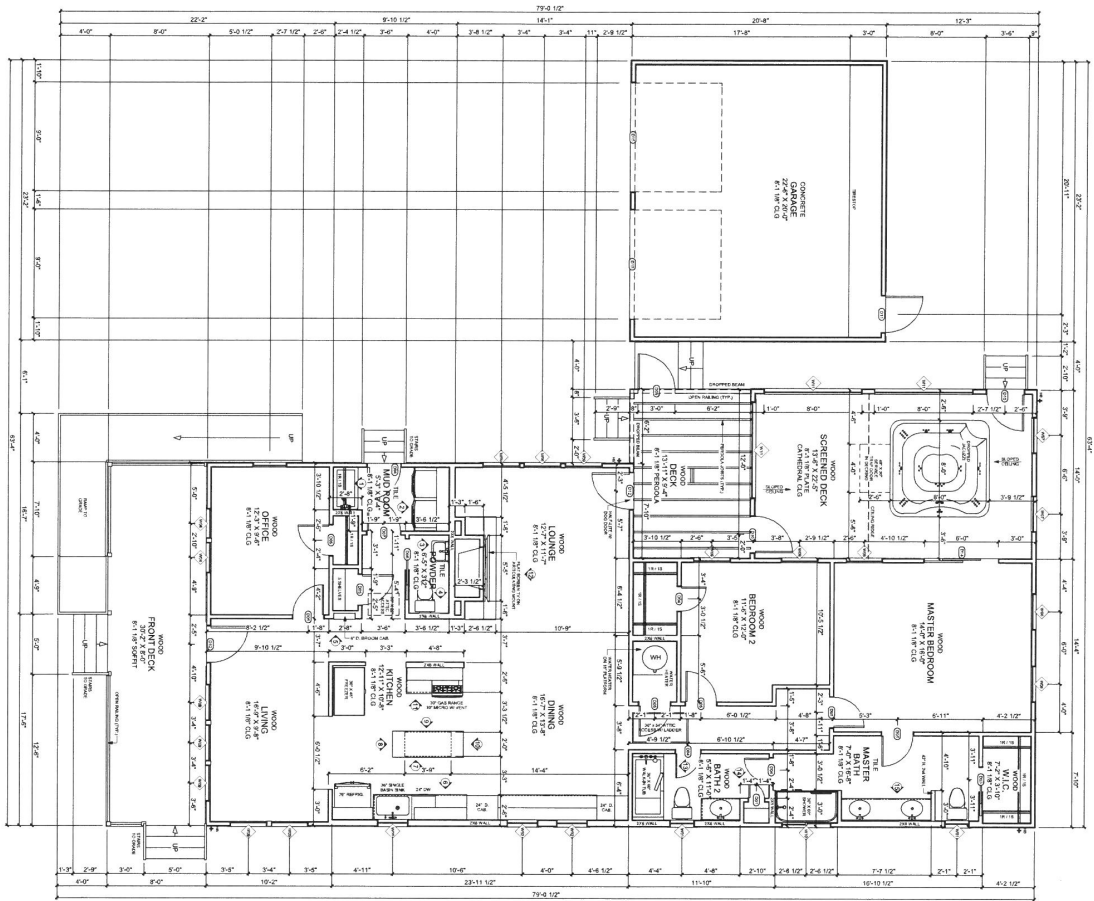
1	10-20-2019	ISSUED FOR PERMIT
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SHEET 3 OF 11

SHEET TITLE NEW SITE PLAN

SCALE: 1" = 10'-0"

NOTE: U.N.O. 2X4 WALLS TO BE INSULATED WITH MINIMUM R-13 INSULATION. 2X6 AND UTILITY WALLS TO BE INSULATED WITH MINIMUM R-19 INSULATION.

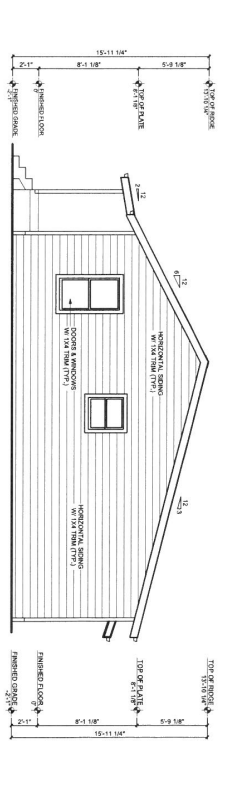
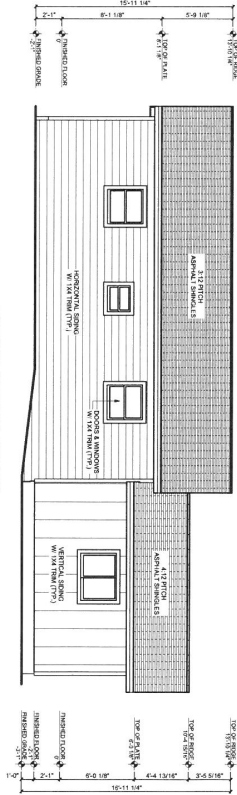
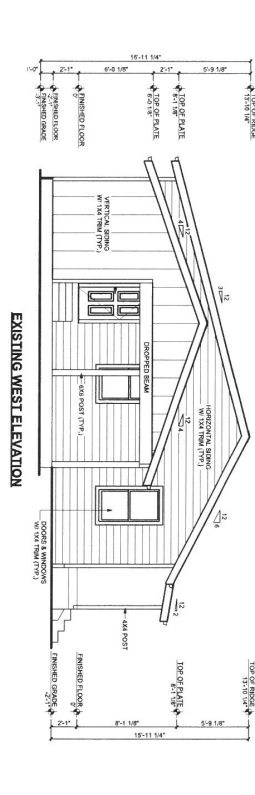
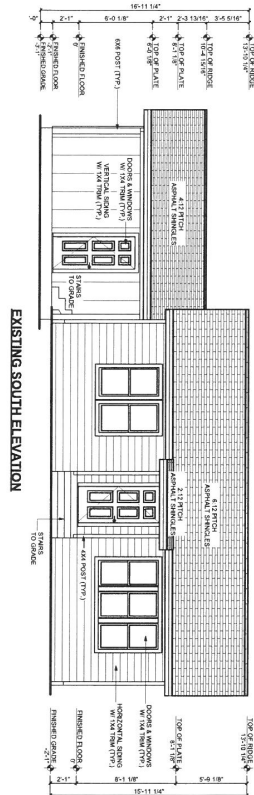
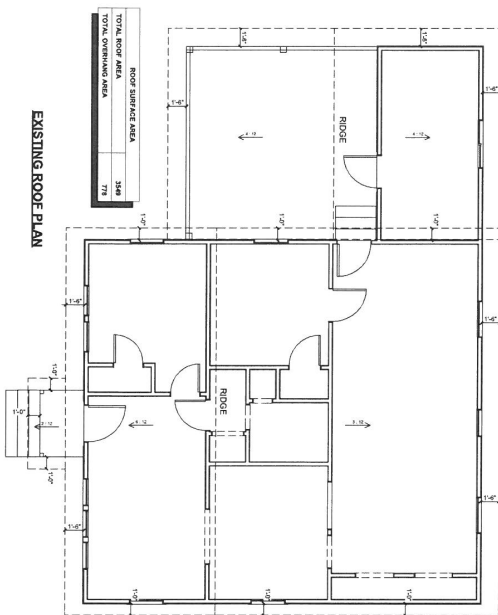
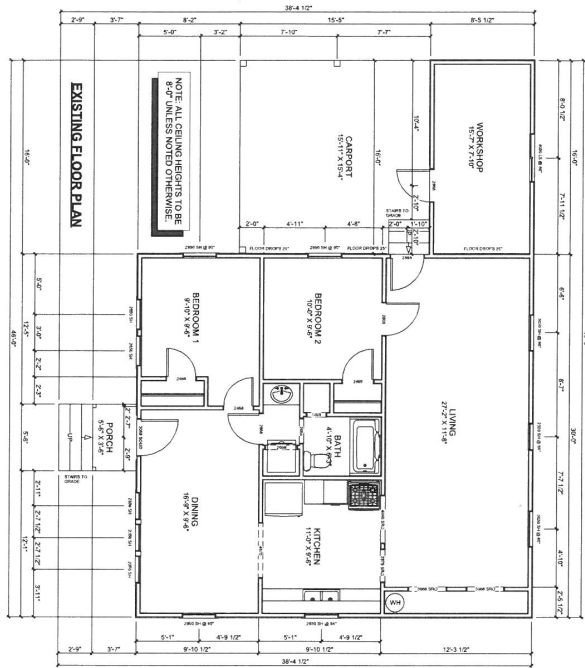


DESCRIPTION	SQUARE FOOTAGE	FRAME	MASONRY
CONDITIONED AREAS			
LIVING AREA	1727		1727
TOTAL CONDITIONED	1727		1727
UNCONDITIONED AREAS			
DOORAGE	429		479
PORCHES	12		12
SCREENED PORCH	16		16
TOTAL UNCONDITIONED	457		507
OUTDOOR LIVING AREAS			
FRONT DECK	245		245
HANDICAP RAMP	131		131
SCREENED PORCH	324		324
DECK	135		135
TOTAL OUTDOOR LIVING	835		835

NUMBER	LABEL	QTY
D01	1346	1
D03	2068 POCKET	1
D04	2068	3
D05	2668	7
D06	2668 POCKET	1
D07	2668	1
D08	2898 HALF TITE	1
D09	3030 GATE	1
D10	3068 SCREEN	2
D11	3068 SOLID	1
D12	3068 HALF TITE	1
D13	3640 GATE	1
D14	3640 GATE	1
D15	6000 SLIDING GLASS DOOR	1
D16	6000 SLIDING GARAGE DOOR	2

[illegible]

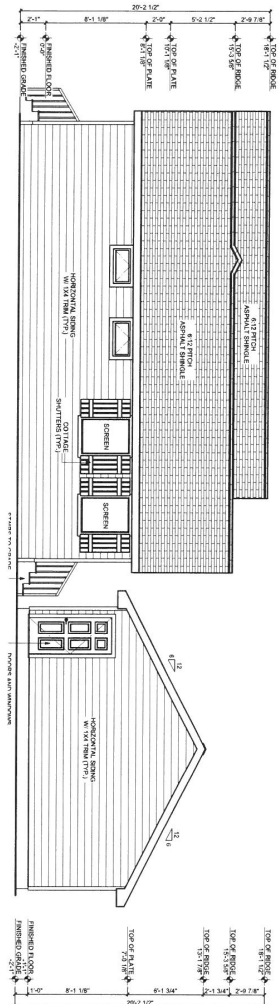
SHEET 5 of 11	SHEET TITLE NEW FLOOR PLAN SCALE: 1/4" = 1'-0" Page 5 of 22	DATE 10-25-2019	PROJECT ID 1907200-0	ALEXANDER RESIDENCE 304 W. LIVE OAK STREET RAILROAD, BLOCK 14, LOT 4-5 (S/PT) HUTTO, TX 78634 WILLIAMSON COUNTY	116 HOLLAND STREET, HUTTO, TEXAS 78634 (512) 427-7456 INFO@ADG-TX.COM WWW.ADG-TX.COM	 ADAM AND G TEXAS PREMIER HILL COUNTRY DESIGNER
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SHEET 4 of 11	SHEET TITLE AS-BUILT DRAWINGS SCALE: 1/4" = 1'-0"	PROJECT ID 190770010	ALEXANDER RESIDENCE 304 W. LIVE OAK STREET RAILROAD, BLOCK 14, LOT 4-5 (S/PT) HUTTO, TX 78634 WILLIAMSON COUNTY	ADG ADAMANT DESIGN GROUP TEXAS PREMIER HILL COUNTRY DESIGNER 118 HOLLAND STREET, HUTTO, TEXAS 78634 (512) 927-7456 INFO@ADG-TX.COM WWW.ADG-TX.COM
	DATE 10-25-2019	REV	DATE	DESCRIPTION
	DATE	REV	DATE	DESCRIPTION
	DATE	REV	DATE	DESCRIPTION

[illegible]

SHEET 7 of 11	SHEET TITLE NEW EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0"	ARCHITECT: JEFFREY J. SMITH, LLC, 10000 100TH AVE., SUITE 100, FARMINGTON, CT 06031 TEL: 860.676.1234 FAX: 860.676.1235 WWW.JEFFREYJSMITH.COM PROJECT: 10000 100TH AVE., SUITE 100, FARMINGTON, CT 06031 DRAWING NO.: 10000 100TH AVE., SUITE 100, FARMINGTON, CT 06031 DATE: 10/10/2010 DRAWN BY: JEFFREY J. SMITH CHECKED BY: JEFFREY J. SMITH APPROVED BY: JEFFREY J. SMITH
	Page 8 of 22	



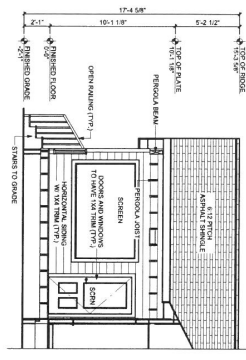
NORTH ELEVATION

MAINTENANCE CALCULATION

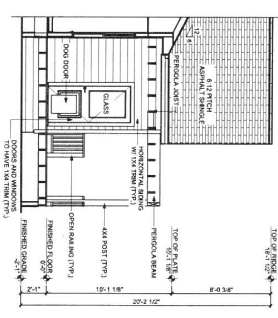
	SOUTH	WEST	EAST	TOTAL
TOTAL WALL	212	232	232	676
OPENINGS	282	235	54	571
AVAILABLE WALL	499	1153	232	3884
STUCCO	499	1153	232	3884
BRICK	499	1153	232	3884
STONE	499	1153	232	3884

NOTE: GABLES ARE SHOWN ON CONSTRUCTION TO REPRESENT ACTUAL FINISHED GRADE ON JOB SITE.

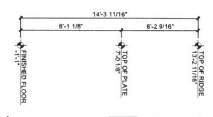
NOTE: CALCULATIONS ARE APPROXIMATE AND MAY VARY BASED ON FINISHED GRADE ON ELEVATIONS.



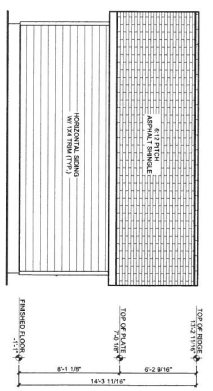
DECK NORTH ELEVATION



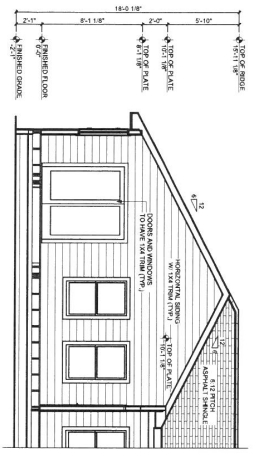
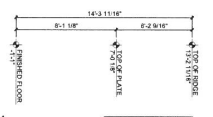
DECK SOUTH ELEVATION



GARAGE EAST ELEVATION



GARAGE WEST ELEVATION



SCREENED DECK WEST ELEVATION

SHEET TITLE
NEW EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

PROJECT ID
19077700.0

DATE
10-20-2019

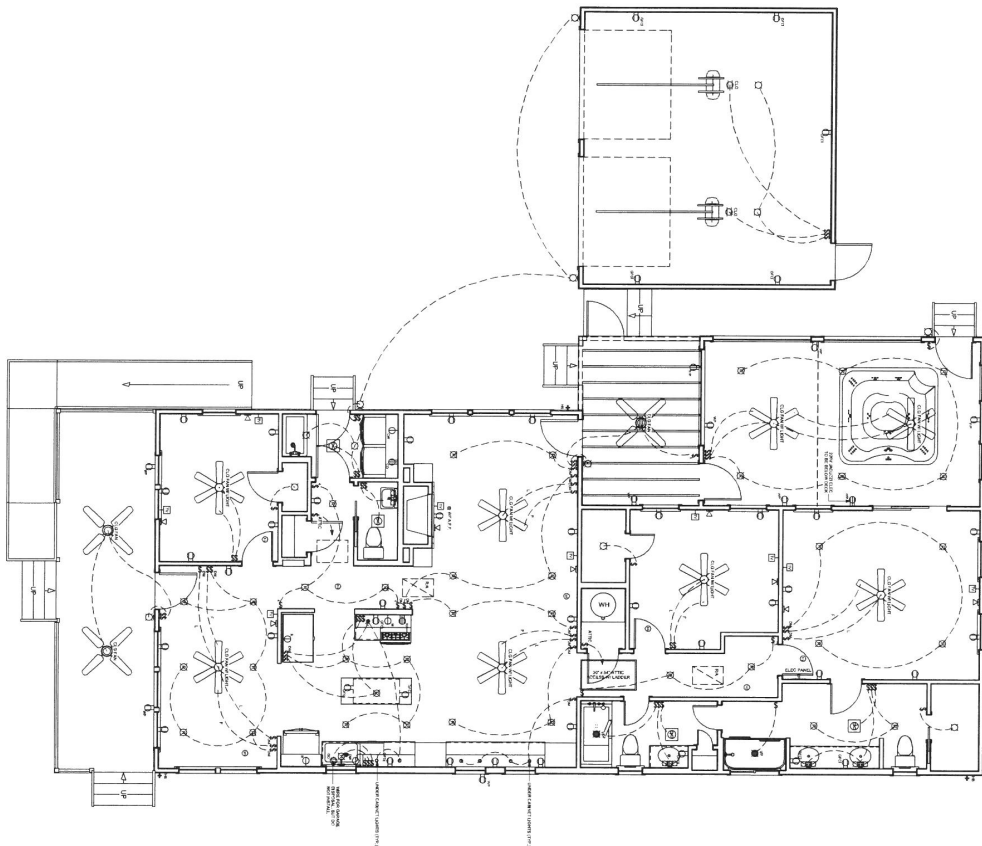
ALEXANDER RESIDENCE

304 W. LIVE OAK STREET
RAILROAD, BLOCK 14, LOT 4-5 (S/PT)
HUTTO, TX 78634
WILLIAMSON COUNTY

ADG
ADAMANT DESIGN GROUP
TEXAS PREMIER HILL COUNTRY DESIGNER
116 HOLLAND STREET HUTTO, TEXAS 78634
(512) 927-7444 FAX (512) 927-7445
WWW.ADG-TX.COM

[illegible]

AUDIO / VISUAL / DATA NOTES

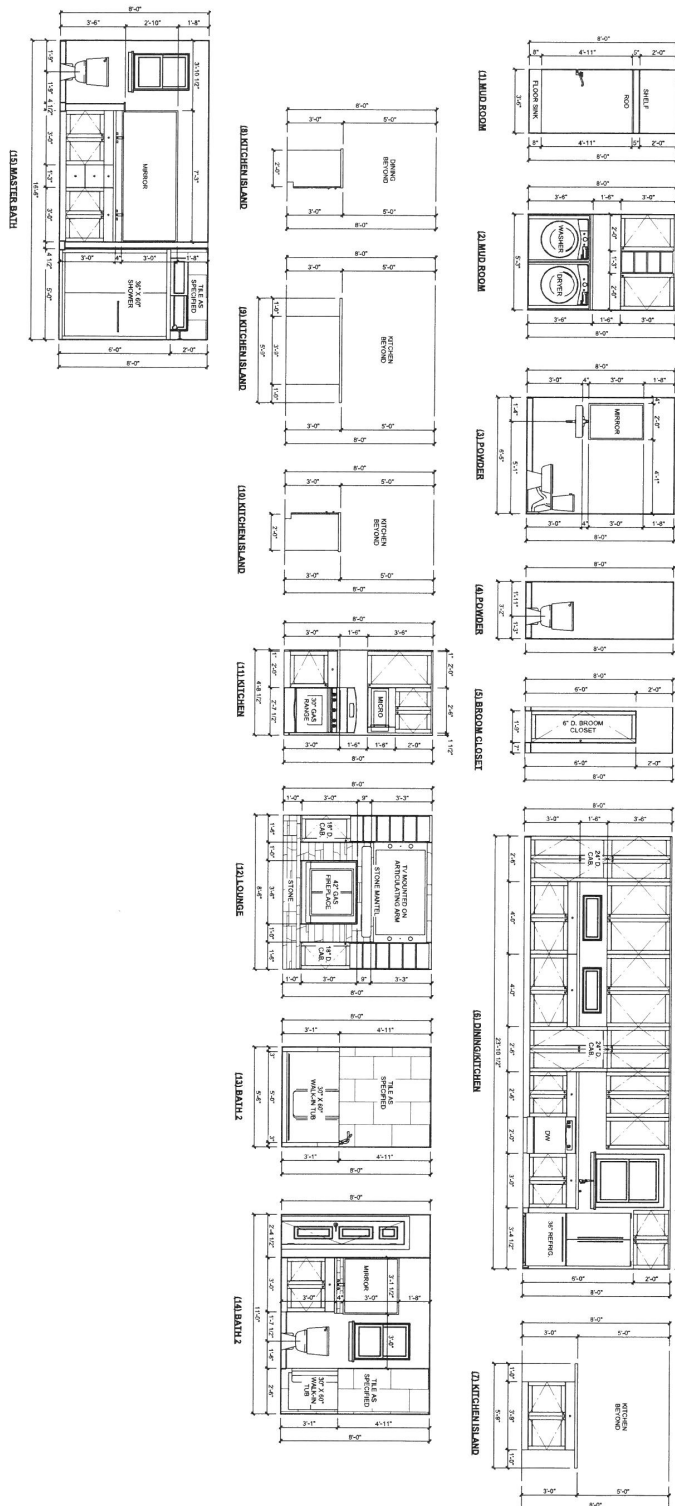
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304 W. LIVE OAK STREET
RAILROAD, BLOCK 14, LOT 4-5 (S/PT)
HUTTO, TX 78634
WILLIAMSON COUNTY

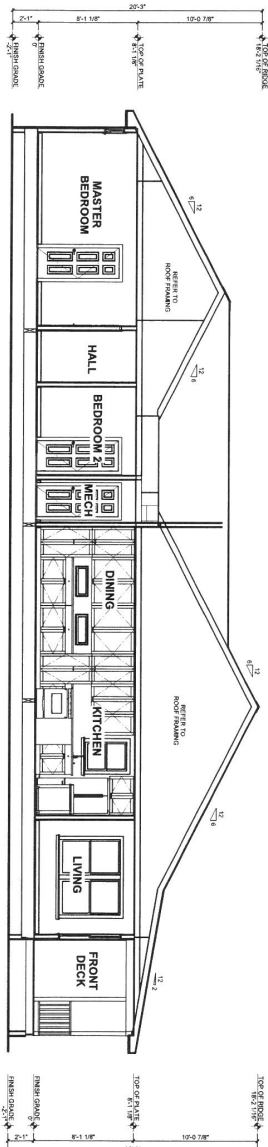
ADG
ADAMANT DESIGN GROUP
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118 HOLLAND STREET, HUTTO, TEXAS 78634
(512) 927-7456 INFO@ADG-TX.COM
WWW.ADG-TX.COM

SCALE: 1/4" = 1'-0"

Page 10 of 22



CONSTRUCTION ASSEMBLIES

[illegible]

EAST TO WEST CROSS SECTION

SCALE: 1/4" = 1'-0"

[illegible]

ALEXANDER RESIDENCE

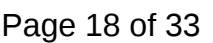
304 W. LIVE OAK STREET
RAILROAD, BLOCK 14, LOT 4-5 (S/PT)
HUTTO, TX 78634
WILLIAMSON COUNTY



3.1. EXTENDING VIBRATO TO OTHER PERCEPTIVE A-ZS
The A-Zs of vibrato were extended to the other 25 A-Zs of the 26 A-Zs of the vibrato space. The A-Zs were extended by adding a 100% vibrato to each A-Z, resulting in a total of 26 A-Zs of vibrato. The A-Zs were extended by adding a 100% vibrato to each A-Z, resulting in a total of 26 A-Zs of vibrato. The A-Zs were extended by adding a 100% vibrato to each A-Z, resulting in a total of 26 A-Zs of vibrato.

[illegible][illegible]

304 W. LIVE OAK STREET
RAILROAD, BLOCK 14, LOT 4-5 (S/PT)
HUTTO, TX 78634
WILLIAMSON COUNTY



[illegible]

SCALE: 1/8"=1'-0"
ISSUED: 10.24.19
DRAFTER: wgp



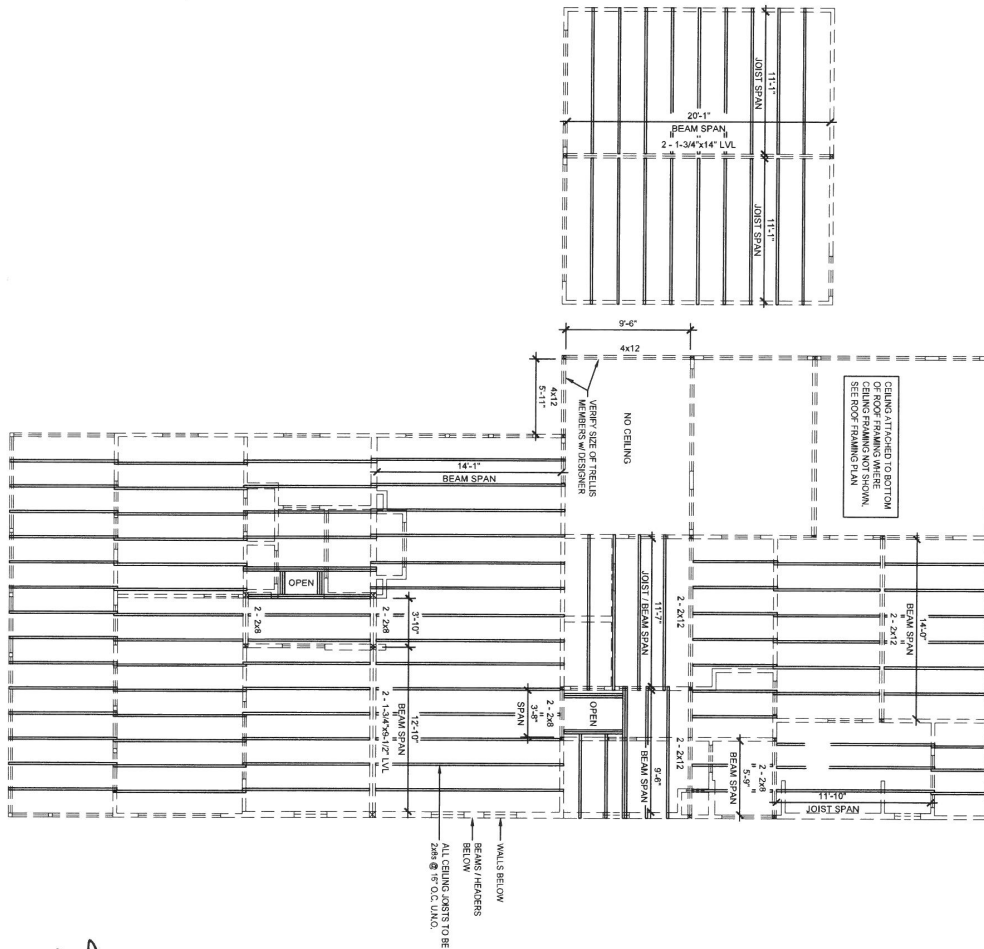
TUCKER
■■■engineering

[illegible]



TUCKER
■■■engineering

NOTES:
ALL DIMENSIONS ARE APPROXIMATE. DEFER TO ARCHITECTURAL PLANS FOR
ALL DIMENSIONS. CONTRACTOR TO VERIFY DIMENSIONS IN THE FIELD.



S2.2

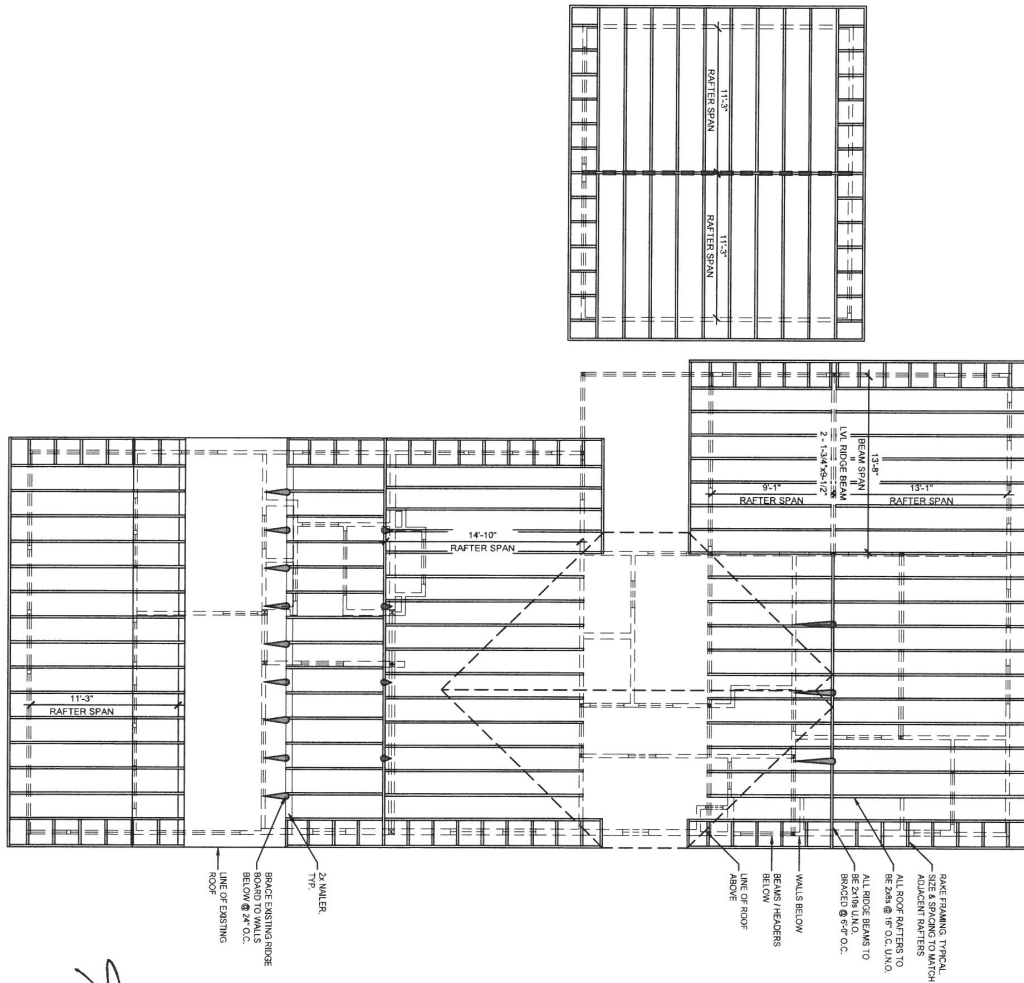
SCALE: 1/8" = 1'-0"
ISSUED: 10.24.19
DRAWN: [signature]

CEILING FRAMING PLAN

304 WEST LIVE OAK
MERKEL, TEXAS



NOTES:
ALL DIMENSIONS ARE APPROXIMATE. DEFER TO ARCHITECTURAL PLANS FOR ALL DIMENSIONS. CONTRACTOR TO VERIFY DIMENSIONS IN THE FIELD.



Matthew Solim

 MATTHEW SOLIM
 129777
 PROFESSIONAL ENGINEER
 STATE OF TEXAS

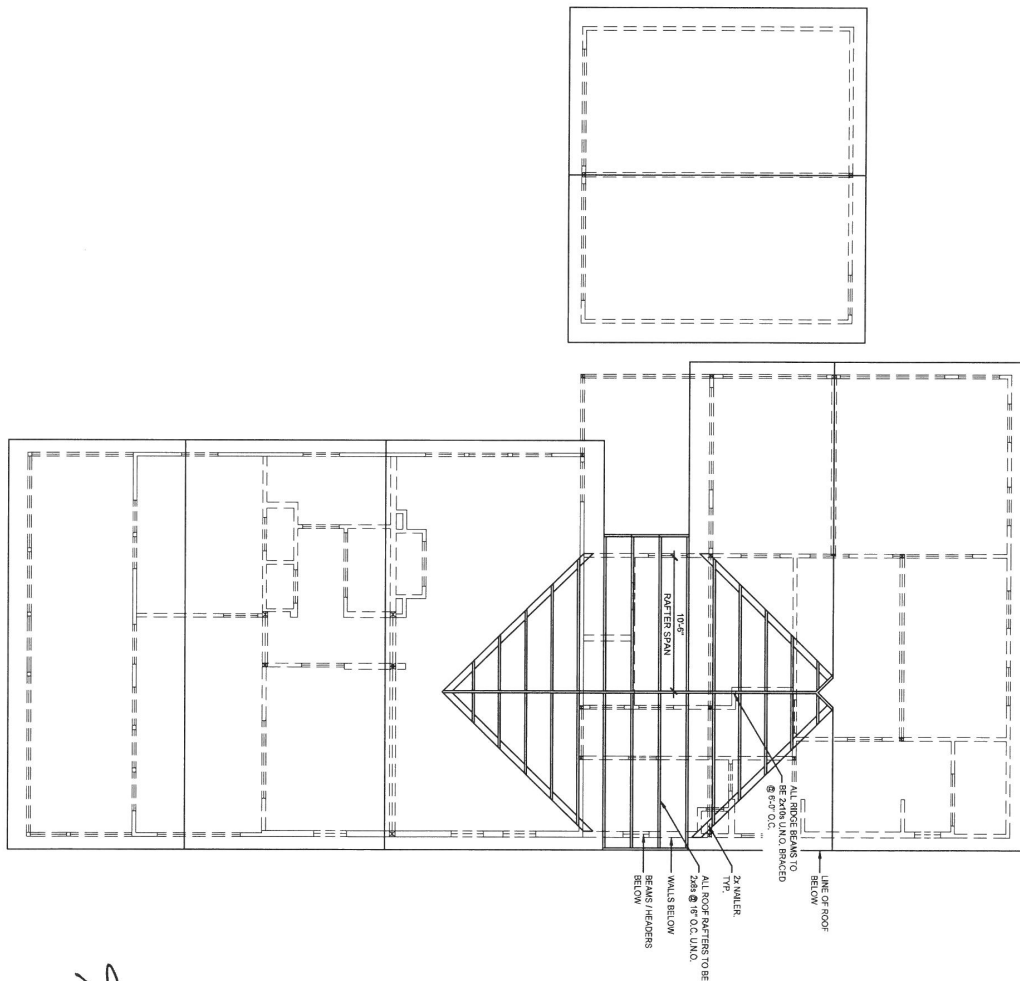
ROOF FRAMING PLAN
 304 WEST LIVE OAK
 MERKEL, TEXAS

TUCKER
 ■■■engineering

SCALE: 1/8"=1'-0"
 ISSUED: 10.24.19
 DRAWN: wwp

S2.3

NOTES:
ALL DIMENSIONS ARE APPROXIMATE. DEFER TO ARCHITECTURAL PLANS FOR
ALL DIMENSIONS. CONTRACTOR TO VERIFY DIMENSIONS IN THE FIELD.



LOW ROOF FRAMING PLAN

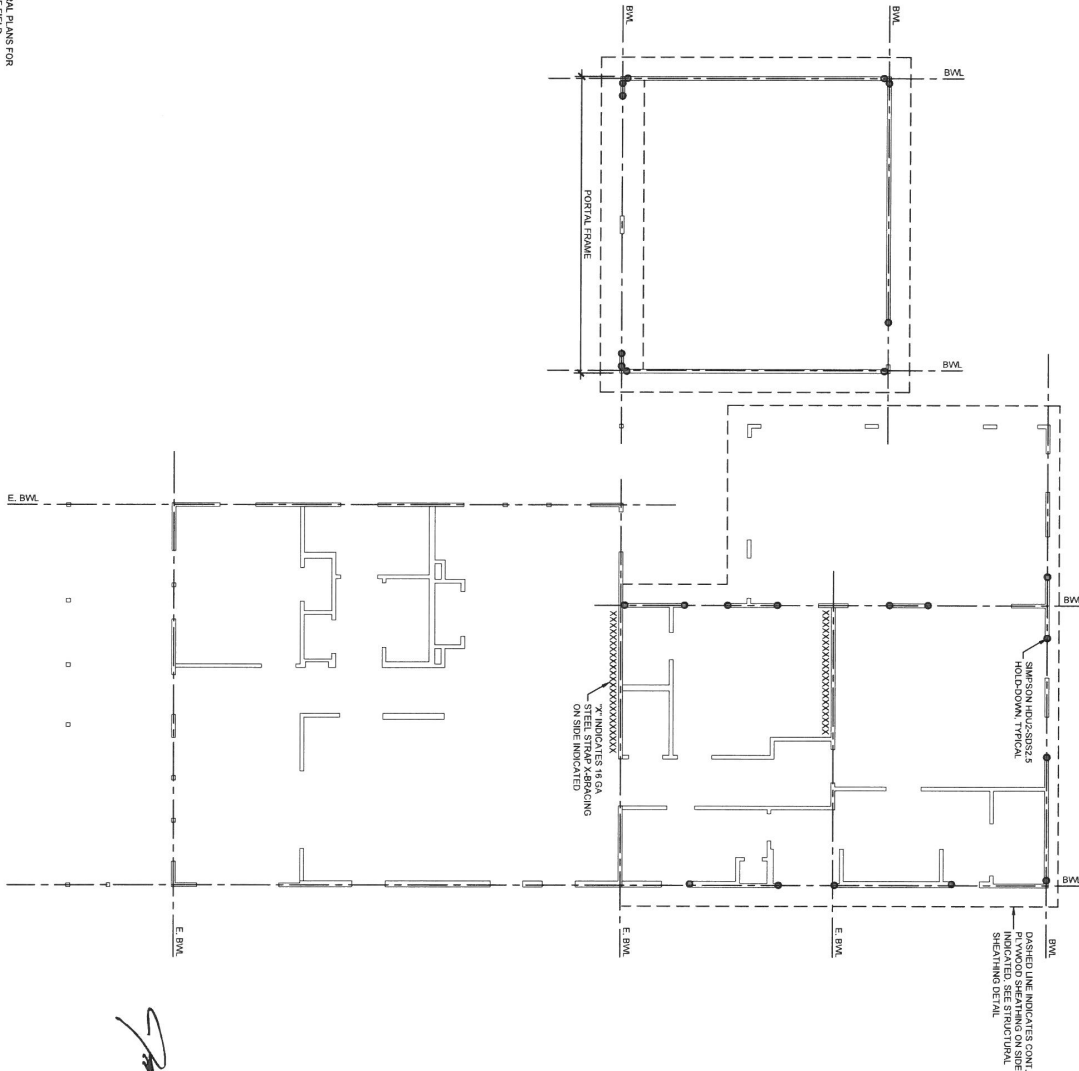
304 WEST LIVE OAK
MERKEL, TEXAS



S2.4

SCALE: 1/8"=1'-0"
ISSUED 10.24.19
DRAFTER: wbp

NOTES:
ALL DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL PLANS FOR
ALL DIMENSIONS. CONTRACTOR TO VERIFY DIMENSIONS IN THE FIELD.



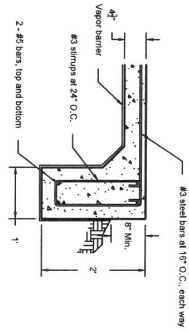
FIRST FLOOR BRACED WALL PLAN

304 WEST LIVE OAK
MERKEL, TEXAS



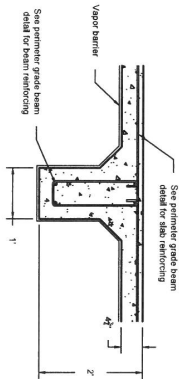
S3.1

SCALE: 1/8"=1'-0"
ISSUED 10.24.19
DRAWN: wwp



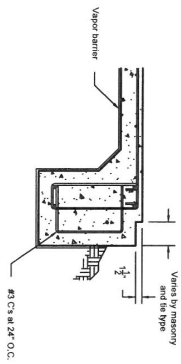
1 Perimeter Grade Beam Detail

Scale: not to scale
Notes:



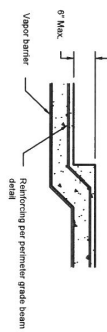
2 Interior Grade Beam Detail

Scale: not to scale
Notes:



3 Brick Ledge Detail

Scale: not to scale
Notes:



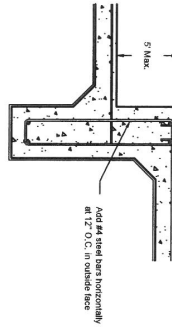
4 Short Stepdown Detail

Scale: not to scale
Notes:



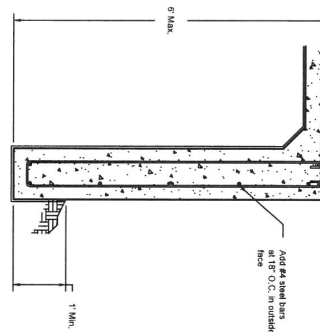
FOUNDATION DETAILS
304 WEST LIVE OAK
MERKEL, TEXAS

TUCKER
engineering



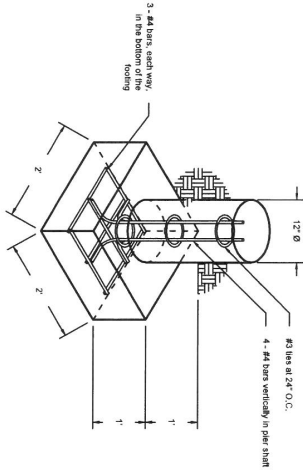
1 Tall Step Down Detail

Scale: not to scale
Notes:



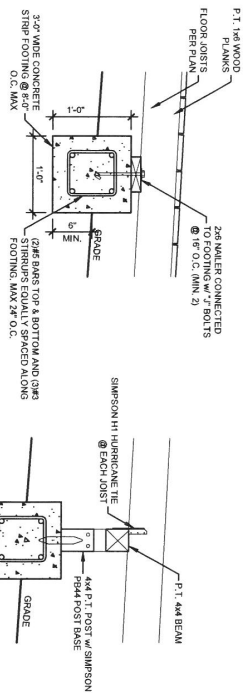
2 4'-6" Tall Grade Beam Detail

Scale: not to scale
Notes:



3 Spread Footing Pier Detail

Scale: not to scale
Notes:
Reinforcing bars in slabs and any experience required resulting in shoring, cracks and
slaking down. Periodic maintenance may be required in order to maintain a level
condition.
Attach beams with 16 Gauge steel strap embedded in pier and looped around rebar.



4 FOOTING DETAIL

Scale: 3/4\"/>

TUCKER
■■■engineering

FOUNDATION DETAILS
304 WEST LIVE OAK
MERKEL, TEXAS

SCALE: AS NOTED
ISSUED 10.24.19
DRAFTER: wgp

S4.2

Historic Preservation
Commission
**AGENDA ITEM
REPORT**



To: Historic Preservation Commission
Subject: Consideration and possible action on a Certificate of Appropriateness for 106 US 79 West.
Meeting: Historic Preservation Commission - 28 Jan 2020
Department: Development Services
Staff Contact: John Byrum

BACKGROUND INFORMATION:

The applicant is requesting a Certificate of Appropriateness to construct a fence at the property located at 106 US 79 West. The subject property is zoned OT-5H.

The proposed fence would be a six foot privacy fence at the rear of the property. The fence will be all wood and stained. All fences in OT-5H are to be reviewed by the Historic Preservation Commission.

Staff finds that the request is consistent with the standards of the Unified Development Code. Therefore, staff recommends approval of the Certificate of Appropriateness for the fence to be located at 106 US 79 West.

ATTACHMENTS:

[Site Plan and fence details](#)

