



City of Hutto

Agenda

Historic Preservation Commission Wednesday, March 22, 2023 at 7:00 PM Council Chambers

In accordance with the Texas Open Meetings Act this meeting agenda is posted for public information, continuously, for at least 72 hours prior to the scheduled time of the meeting on the bulletin board located on the exterior wall of the City Hall building at 500 West Live Oak, Hutto, Texas. This meeting agenda is also accessible via the Internet at huttotx.gov

1. CALL SESSION TO ORDER

2. ROLL CALL

3. PUBLIC COMMENT

Any citizen wishing to speak during public comment may do so after completing the required registration form. The purpose of this item is to allow the residents of Hutto and other interested persons an opportunity to address the City Council on agenda issues and on non-agenda issues that are a matter of the jurisdiction of the City Council (i.e., City policy or legislative issues). Non-agenda issues regarding daily operational or administrative matters should be first dealt with at the administrative level by calling City Hall at (512) 759-4839 during business hours. Each person providing public comment will be limited to 3 minutes. Any citizen wishing to speak during public comment may do so after completing the required registration form. Written comments for this meeting may also be sent to comments@huttotx.gov PRIOR to 4:00 pm on March 22, 2023. The email must include name, address, phone # and email to be recognized properly. Written comments will be provided to Council.

4. AGENDA ITEMS

- 4.1. Consideration and possible action on the meeting minutes from the regular scheduled Historic Preservation Commission meeting held on February 22, 2023.
- 4.2. Consideration and possible action on the Certificate of Appropriateness for a new residential structure on Lot 11, McGee's Second Addition, known as 304 Church Street.
- 4.3. Consideration and possible action on the Certificate of Appropriateness for an accessory unit on Lot 5, Block D, City of Hutto, known as 506 Church Street.
- 4.4. Consideration and possible action on the Master Sign Plan for 106 Taylor Street.

5. HISTORIC WRITING COMMITTEE UPDATE

- 5.1. Updates, discussion and possible action pursuant to the Historical Writing Committee.

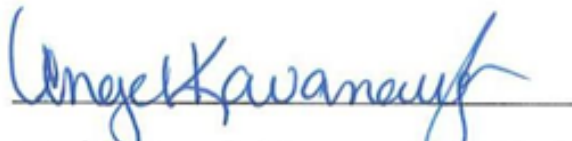
6. DIRECTOR'S REPORT

7. ADJOURNMENT

8. CERTIFICATION

I certify that this notice of the March 22, 2023 Hutto Historic Preservation Commission meeting was posted on the City of Hutto website and the City Hall bulletin board of the City of Hutto on March 17, 2023 before 5:00 P.M.




Angel Kavanaugh, Management Assistant

The City of Hutto is committed to comply with the Americans Disability Act. The Hutto City Council Chamber is wheelchair accessible. Request for reasonable special accommodations must be made 48 hours prior to the meeting. Please email the City Secretary's office at City.Secretary@huttox.gov or call (512) 759-4033 for assistance.

AGENDA ITEM REPORT

4.1.



To: Historic Preservation Commission
Subject: Consideration and possible action on the meeting minutes from the regular scheduled Historic Preservation Commission meeting held on February 22, 2023.
Meeting: Wednesday, March 22, 2023
Department: Development Services
Staff Contact:

BACKGROUND INFORMATION:

SUMMARY OF REQUEST:

STAFF REVIEW:

FISCAL NOTES:

POLICY IMPLICATIONS:

ATTACHMENTS:

1. Historic Preservation Commission meeting minutes 2.22.2023



City of Hutto

Minutes

Historic Preservation Commission

Wednesday, February 22, 2023 at 7:00 PM

City Council Chambers

1. CALL SESSION TO ORDER

The meeting was called to order at 7:00 PM.

2. ROLL CALL

Members of the Historic Preservation Commission in attendance were Deanne Worley, Robert Lykins, Jon Stephenson, Alexis Ortiz, and Norman Delay. Kathy Hoover and Curtis Orton were not in attendance. Members of the City of Hutto Staff in attendance were Ashley Bailey, Director of Development Service, and John Byrum, Planning Manager.

3. PUBLIC COMMENT

Any citizen wishing to speak during public comment may do so after completing the required registration form. The purpose of this item is to allow the residents of Hutto and other interested persons an opportunity to address the City Council on agenda issues and on non-agenda issues that are a matter of the jurisdiction of the City Council (i.e., City policy or legislative issues). Non-agenda issues regarding daily operational or administrative matters should be first dealt with at the administrative level by calling City Hall at (512) 759-4839 during business hours. Each person providing public comment will be limited to 3 minutes. Any citizen wishing to speak during public comment may do so after completing the required registration form. Written comments for this meeting may also be sent to comments@huttotx.gov PRIOR to 4:00 pm on February 22, 2023. The email must include name, address, phone # and email to be recognized properly. Written comments will be provided to Council.

There was no public comment.

4. AGENDA ITEMS

- 4.1. Consideration and possible action on the meeting minutes from the regular scheduled Historic Preservation Commission meeting held on July 27, 2022.

A motion was made by Commissioner Robert Lykins to accept meeting minutes as presented, seconded by Commissioner Norman Delay. Motion passed 5 Ayes 0 Nays.

- 4.2. Consideration and possible action on the meeting minutes for the regular scheduled Historic Preservation Commission meeting held on January 25, 2023.

A motion was made to accept the meeting minutes with the corrections of "writed to written" and recommended to be recommended by Commissioner Robert Lykins and seconded by Commissioner Alexis Ortiz. Motion passed 5 Ayes to 0 Nays.

- 4.3. Consideration and possible action on the Certificate of Appropriateness for an exterior update on an existing commercial structure on Lot 5 - 6, Block 5, Railroad Addition, known as 201 North FM 1660.

Staff presented applicants request for the Certificate of Appropriateness for an exterior

update on an existing commercial structure on Lot 5 - 6, Block 5, Railroad Addition, known as 201 North FM 1660. Discussion ensued between staff and commissioners. A motion was made by Chair DeAnne Worley, seconded by Commissioner Jon Stephenson. Motion passed 5 Ayes to 0 Nays.

4.4. Discussion regarding the Real Places 2023 Conference.

Commissioner Jon Stephenson gave an update on the Real Places 2023 Conference.

5. HISTORIC WRITING COMMITTEE UPDATE

Commissioner Jon Stephenson gave update on Historic Writing Committee.

6. DIRECTOR'S REPORT

Request -Confirmation that like for like fence repair does not need a COA for any area in historic, only new or different type of fencing requires the CoA and that staff will follow up on the Front Street Church expansion.

7. ADJOURNMENT

Meeting was adjourned at 7:59 PM.

8. CERTIFICATION

I certify that this notice of the February 22, 2023 Hutto Historic Preservation Commission meeting was posted on the City of Hutto website and the City Hall bulletin board of the City of Hutto on February 17, 2023 before 5:00 P.M.

Historic Preservation Commission Chair

AGENDA ITEM REPORT

4.2.



To: Historic Preservation Commission
Subject: Consideration and possible action on the Certificate of Appropriateness for a new residential structure on Lot 11, McGee's Second Addition, known as 304 Church Street.
Meeting: Wednesday, March 22, 2023
Department: Development Services
Staff Contact:

BACKGROUND INFORMATION:

304 Church Street is a vacant lot, approximately 0.3 acres in size. The property is zoned OT-3 and falls under the purview of the Historic Preservation Commission. The applicants are proposing a single story 2,547 sq. ft. single family home. The structure will be built on slab, with a primarily 8:12 roof pitch and 100% Hardie Panel siding in board and batten application. The proposal includes a shingle roof. The next steps include a Building Permit.

Surrounding uses:

- North – OT-3 Single family home
- East – OT-3 Single family home
- South – OT-3 Single family home
- West – OT-3 Single family home

COA Applicability 10.203.5.2 Applicability

A certificate of appropriateness is required for the following change to the exterior of a structure with a designated or pending historic designation:

- Construction of a new, detached structure in a historic district.

This application was unanimously approved at the July 27, 2022 Historic Preservation Commission. Due to the Certificate of Appropriateness expiring, the applicant is bringing this COA back to HPC.

SUMMARY OF REQUEST:

Old Town Hutto has an historic existing character that shall be preserved by rehabilitation of existing significant buildings. In addition, new and infill construction in the district shall reflect the character of the district during its historic period of significance.

The key design principles establish essential goals for development in the Old Town to ensure the preservation, sustainability, and visual quality of this unique environment. Buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces.

AGENDA ITEM REPORT

4.2.



Applicable Key Design Principles:

- New buildings/building facades shall utilize building elements and details to achieve compatibility with existing buildings in Old Town.
- Compatibility is not meant to be achieved through uniformity or replication of existing architecture, but through the use of variations in building elements to achieve individual building identity.
- Building facades must include appropriate architectural details and ornament to create variety and interest.

Applicable Requirements Specific to OT-3 Zones:

- Maximum Lot coverage 60% - MEETS 22%
- In the case of an Infill Lot, Setbacks shall match one of the existing adjacent Setbacks - Meets. 56' front yard shown
- Specific To Zones OT-3 - Driveways at Frontages shall be no wider than 10-feet in the First Layer - Meets

Architectural Elements Specific to all OT-3 Zones:

- All primary entrances shall address the primary street. MEETS
- Garages generally shall be located on alleys at the rear of residential buildings; pull-through garages are allowed if the garage door is set back behind the rear façade of the main structure. If front-loaded garages or carports are utilized on single-family residential lots, garages and carports shall be no greater than 12 feet wide, and set back at least 10 feet measured from the face of the main structure closest to the garage/carport or rotated 90 degrees with windows on the wall facing the street. All garage doors shall be divided into single bays separated by at least an 18-inch column. Residential building with garage in line with the front façade – not permitted NOT DEFINED
- Pedestrian-Friendly Building Massing and Scale. On residential buildings, at least one of the following shall be utilized: porches, stoops, bay windows, balconies, masonry clad chimneys, attached pergolas or colonnades. Those architectural elements may encroach beyond the setback line. MEETS
- The base of a building shall be delineated by a change in color, water mark or different material for at least the first 18 inches of the façade. The grade of the slab or first floor elevation shall be elevated at least 18 inches above the grade of the sidewalk. DOES NOT MEET
- All residential buildings shall have architectural elements that are consistent in scale and proportion with the architectural style chosen for the building. MEETS

AGENDA ITEM REPORT

4.2.



- Residential buildings shall have relatively flat fronts and simple roofs with most building wing articulations set at the rear of the structure. Window projections, stoops, porches, balconies, and similar extensions are exempt from this standard. MEETS
- Gable roofs, if provided, shall have a minimum pitch of 9/12. When hipped roofs are used, the minimum pitch shall be 6/12. Other roof types shall be appropriate to the architectural style of the building. Roof design shall be generally simple without too many gables and dormers. MEETS (8:12 & 12:12)
- Architectural embellishments that add visual interest to the roofs, such as dormers and masonry chimneys may be provided. MEETS
- All new residential buildings shall have windows or doors covering no less than 30% of all street facing façades. MEETS
- If window shutters are used they shall be approximately half the window width and the same height of the associated opening (including casing for masonry walls; not including casing for siding walls). All shutters shall be louvered, paneled, or constructed of boards as appropriate to the style of the building. MEETS

Building Materials:

- The following shall be permitted finishes for street fronting facades of all residential buildings. No more than three different materials shall be used on any single facade: Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty; MEETS
- Side and rear facades shall be of finished quality and of the same color and materials that blend with the front of the building. MEETS
- Roofing materials (visible from any public right-of-way): copper, factory finished painted metal, slate, synthetic slate, terra cotta, cement tile, glass fiber shingles. MEETS
- An enclosed garage or carport shall be designed and constructed of the same material as the primary building. NONE PROPOSED

Streetscape and Landscape Standards:

- Public sidewalks are required for all development within Old Town based on the City adopted cross sections for the streets in Old Town. The minimum sidewalk width shall be five (5) feet if no other standard has been adopted or utilized for the particular street frontage. REQUIRED
- The planting zone is intended for the placement of street trees, if required, and street furniture including seating, street lights, waste receptacles, fire hydrants, traffic signs, bus shelters, bicycle racks, public utility equipment such as electric transformers and water meters, and similar elements approved by the Director of Development Services in a manner that does not obstruct pedestrian access or motorist visibility. REQUIRED

AGENDA ITEM REPORT

4.2.



- Street trees shall be required along all streets (except alleys) at an average of 40 feet on center (measured per block face) or per adopted street cross sections within the Planting/Furnishings Zone. REQUIRED

STAFF REVIEW:

A Certificate of Appropriateness is evaluated, in part, to the following criteria:

1. The structure or site will be used for its historic purpose or be placed in a new use that is permitted under this code. The use will require minimal change to the defining characteristics of the structure, property, site and environment. *NA*
2. The historic character of a structure or site will be kept and preserved. Removal of historic materials or alteration of features and spaces characterizing a structure or property will be avoided. *NA*
3. The structure and/or site remains as a physical record of its time, place and use. Changes will not create a false sense of historical development, such as adding conjectural features or architectural elements from other structures or property. *NA*
4. Most structures and property change over time; changes that acquired historic significance in their own right will be kept and preserved. *NA*
5. Distinctive features, finishes and construction techniques or examples of craftsmanship characterizing a structure or property will be preserved in the limits permitted by applicable regulations. *NA*
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature must match the old in design, color, texture and other visual qualities; and, where possible, materials, if they meet other applicable codes and ordinances. Replacement of missing features will be proven by documentary, physical or pictorial evidence. *NA*
7. Chemical or physical treatments that could damage historic materials are prohibited. Surface cleaning of structures, if appropriate, must be undertaken using the gentlest method possible. *NA*
8. New additions, exterior alterations, or related new construction will not destroy historic materials characterizing the structure or property. New work will be differentiated from the old and will be compatible with the massing, size, scale and architectural features to protect the historic integrity of the structure or property and its environment. *NA*
9. New additions and adjacent or related new construction will be undertaken in a way that the essential form and integrity of the historic structure or property and its environment will be unimpaired if it is removed in the future. *NA*
10. New construction taking place after demolition or removal of a structure or property in an historic district will conform to the design guidelines for the district. *Proposal meets requirements.*

Staff Recommends approval of the proposed Certificate of Appropriateness for the new structure at

AGENDA ITEM REPORT

4.2.



304 Church Street with the condition two off-street parking spaces are provided for on site. The Historic Preservation Commission may impose conditions on a general development plan.

FISCAL NOTES:

POLICY IMPLICATIONS:

ATTACHMENTS:

1. Certificate-of-Appropriateness Application
2. A6 - File Copy of Plans - PERMIT
3. Aerial
4. Zoning Map



CERTIFICATE OF APPROPRIATENESS APPLICATION

Must be accompanied by a Master Application

City of Hutto Development Services
500 W. Live Oak Street
Hutto TX 78634
Phone: 512-782-2640
Planning: 512-759-3479
Permits & Inspections: 512-846-2640
Engineering: 512-759-4038
planning@huttotx.gov
building@huttotx.gov
www.huttotx.gov

PROJECT NAME: Bowen - 1222037

PROPERTY ADDRESS: 304 Church St. Hutto, TX 78634

Current zoning district: OT-3 Current use: _____ Occupancy: ☒ Residential ☐ Commercial

☐ **** Pre-application meeting with Development Services staff. (Required for all COA applications.) ****

Request Type (Check One)

- ☒ New construction ☐ Remodel or Addition ☐ Storage or Accessory Building ☐ Fence construction or Repair
☐ Demolition ☐ Storage or Accessory Building ☐ Other: _____

FEES ☐ All required fees may be provided by cash, credit card (plus additional fee) or check made payable to: City of Hutto
See City of Hutto Development Fee flyer for appropriate fees

REQUIRED FOR SUBMITTAL:

ALL SUBMITTAL DOCUMENTS PROVIDED ON A CD (disk) OR OTHER COMPATIBLE ELECTRONIC STORAGE DEVICE

All items listed must be included with application, unless otherwise noted per your Pre Application meeting.

- ☒ Complete Master application and Certificate of Appropriateness application.
- ☒ Proof of ownership (copy of deed).
- ☐ Photos of lot and existing structure(s) (all sides), submitted digitally/electronically (via: email, flash drive, disc).

If applicable to the project, the following items are to be submitted digitally/electronically (via: email, flash drive, disc) at a minimum scale of (1/8 inch = 1 foot), unless otherwise indicated.

☒ **1. Site Plan**

- A. Minimum scale (1 inch = 20 feet) and must include the following:
- B. North arrow and scale
- C. Lot lines with dimensions, setback and easement lines
- D. Existing/proposed structure location(s), accessory structures, and reference dimensions from all lot lines
- E. Existing trees (with sizes) and locations of all primary/secondary entrances to structures
- F. Driveway, parking, walkway, fence and retaining wall locations (existing/proposed)

☒ **2. Floor Plan**

- G. Existing/proposed structure location on site
- H. Layout of all rooms, exterior decks, porches, windows and door openings
- I. Total square footage of overall structure (total heated/cooled area)

☒ **3. Roof Plan**

- J. Flue, roof, exhaust vents, chimneys, skylights
- K. All projections, penetrations, overhang lines and lengths
- L. Gutters, downspouts, major ridge, valley and eave lines

☒ **4. Architectural Elevations**

- M. North, south, east and west side elevations showing: deck/patio, porch, and showing heights for building, plate, foundation and roof pitch
- N. Calculated areas for all facades and glazed surfaces (windows)
- O. Additions: show entire structure

☒ **5. Significant Architectural Details**

- P. Descriptions and drawings that demonstrate the architectural character of the structure, exposed structural connections, materials, interfaces, etc. (includes finials, corbels, brackets, rafter ends, window casing, etc)

☒ **6. Material Samples**

- Q. Exterior wall/siding, color, texture and finish (photos from current property or any website of materials)
- R. Trim, masonry type, color, texture and layup (photos from current property or any website of materials)
- S. Roof, garage, exterior door type and driveway color (if other than asphalt/grey concrete)
- T. Window type and color (photos from website of materials)
- U. Site, building exterior lighting fixtures and home numbering (photos from website of materials)

FOR DEPARTMENT USE ONLY:

Submittal date	Date accepted for review	Payment type	Fees paid	HPC Mtg. date	HPC determination
					☐ Approved ☐ Approved with conditions (attached) ☐ Denied



MASTER APPLICATION

Must accompany all application types unless otherwise indicated

City of Hutto Development Services 210
500 W. Live Oak St Hutto TX 78634
512-759-3479 Planning
512-846-2640 Permits & Inspections
512-759-4038 Engineering
512-759-5962 Fax
planning@huttotx.gov
building@huttotx.gov
www.huttotx.gov

PROJECT NAME: Bowen - 1222037 APPLICATION TYPE Residential New Construction

APPLICANT INFORMATION (property owner or authorized agent) this will be the City's official contact.

Name: Taylor McCasland - Tilson Homes

Company Name: Tilson Homes

Address: 2900 N Interstate Hwy 35, Georgetown, TX 78626

Phone: 512-3232-3979 Email: mccaslandt@tilsonhome.com

PROPERTY INFORMATION

Address: 304 Church St. Hutto, TX 78634

Legal Description: Deed Lot(s) 11 Block _____ Subdivision McGee's Second Addition

Reference: Volume _____ Page(s) _____ or Document No. 2021082356

City Limits ☒ ETJ ☐ Current Zoning District: OT-3

PROPERTY OWNER INFORMATION

Name: Hunter and Beth Bowen

Company Name: _____

Address: 104 E Liveoak St., Hutto, TX 78634

Phone: 832-331-8828 Email: whunterbowen@gmail.com

PROPERTY OWNER CONSENT/AGENT AUTHORIZATION

By my signature I hereby affirm that I am the property owner of record, or if the applicant is an organization or business entity, that authorization has been granted to represent the owner, organization or business in this application. I certify that the preceding information is complete and accurate, and it is understood that I agree to the submittal of this application. Additionally, my signature below indicates my awareness of the fee(s) required at the time of application submittal and that this fee(s) is non-refundable even in the event of application withdrawal or if reviewed and denied.

By signing this form, the owner of the property authorizes the City of Hutto to begin proceedings in accordance with the process for the type of application indicated on page one of this application. The owner further acknowledges that submittal of an application does not in any way obligate the City to approve the application and that although City staff may make certain recommendations regarding this application, the City Council may not follow that recommendation and may make a final decision that does not conform to the staff's recommendation.

Property Owner Signature _____ Property Owner Printed Name _____ Date _____

THE STATE OF TEXAS

COUNTY OF _____

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this _____ day of _____, 20____

Notary Public Signature _____ Notary Public Printed Name _____

(Seal)

If there are multiple property owners attach separate page(s) with notarized signature(s)

Planning	Date	Building	Date	Notes



MASTER APPLICATION

Must accompany all application types unless otherwise indicated

City of Hutto Development Services 21
500 W. Live Oak St Hutto TX 78634
512-759-3479 Planning
512-846-2640 Permits & Inspections
512-759-4038 Engineering
512-759-5962 Fax
planning@huttotx.gov
building@huttotx.gov
www.huttotx.gov

PROJECT NAME: Bowen - 1222037 APPLICATION TYPE Residential New Construction

APPLICANT INFORMATION (property owner or authorized agent) this will be the City's official contact.

Name: Taylor McCasland - Tilson Homes

Company Name: Tilson Homes

Address: 2900 N Interstate Hwy 35, Georgetown, TX 78626

Phone: 512-3232-3979 Email: mccaslandt@tilsonhome.com

PROPERTY INFORMATION

Address: 304 Church St. Hutto, TX 78634

Legal Description: Deed Lot(s) 11 Block _____ Subdivision McGee's Second Addition

Reference: Volume _____ Page(s) _____ or Document No. 2021082356

City Limits ☒ ETJ ☐ Current Zoning District: OT-3

PROPERTY OWNER INFORMATION

Name: Hunter and Beth Bowen

Company Name: _____

Address: 104 E Liveoak St., Hutto, TX 78634

Phone: 832-331-8828 Email: whunterbowen@gmail.com

PROPERTY OWNER CONSENT/AGENT AUTHORIZATION

By my signature I hereby affirm that I am the property owner of record, or if the applicant is an organization or business entity, that authorization has been granted to represent the owner, organization or business in this application. I certify that the preceding information is complete and accurate, and it is understood that I agree to the submittal of this application. Additionally, my signature below indicates my awareness of the fee(s) required at the time of application submittal and that this fee(s) is non-refundable even in the event of application withdrawal or if reviewed and denied.

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[Signature]
Property Owner Signature

Elizabeth Bowen
Property Owner Printed Name

6/30/22
Date

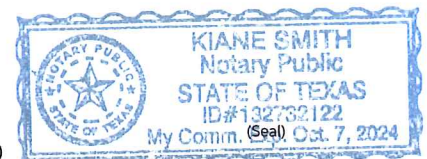
THE STATE OF TEXAS

COUNTY OF Williamson

Before me, the undersigned authority, on this day personally appeared Elizabeth Bowen known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this 30th day of June, 2022
[Signature]
Notary Public Signature

Kiane Smith
Notary Public Printed Name



If there are multiple property owners attach separate page(s) with notarized signature(s)

Planning	Date	Building	Date	Notes



FRONT ELEVATION

AREAS	
Heated Area	
1st Floor Livable	2547 SF
	2547 SF
Unheated Area	
Front Porch	229 SF
Rear Porch	218 SF
	447 SF
Total	2994 SF

SHEET INDEX	
SHEET NO.	SHEET NAME
0-Cover	
A0-CV	Cover
A-SITE	Site Plan
1-Architectural	
A1.0	Slab Plan
A1.1	1st Floor Plan
A1.1a	1st Floor - Detail
A1.1b	1st Floor - Room Finish
A1.3	Interior Elevations
A1.5	Roof Plan
A1.6	Project Details
A1.7	Project Details
A1.8	Project Details
A2.0	Elevations
A2.1	Elevations
2-Electrical	
E-1.0	1st Floor Electrical Plan
3-Structural	
F-1.1	1st Floor Ceiling Framing
F-3.0	Roof Framing Plan

EXTERIOR VENEER PERCENTAGES

Exterior Veneer Type	Area	% of Total Exterior Area
Board and Batt Siding	2737 SF	100%
Grand total	2737 SF	

NOTATIONS

GENERAL NOTES

FLOOR PLAN

WOOD	WOOD FLOORING
CPT.	CARPET FLOORING
VNL	VINYL FLOORING
C.TILE	CERAMIC TILE FLOORING
SH.	SHELVES
S & R	SHELF & ROD
2S & 2R	2 SHELVES & 2 ROD
LT.	LIGHT
CLG.	CEILING
SLP.	SLOPE
SR OPG.	SHEETROCK OPENING
REF.	REFRIGERATOR
1 PC. R&O	1 PIECE RANGE & OVEN
DW	DISHWASHER
DISP.	GARBAGE DISPOSAL
SH	SINGLE HUNG WINDOW
HS	HORIZONTAL SLIDER WINDOW
FX	FIXED GLASS
TEMP.	TEMPERED GLASS
OBSC.	OBSCURE GLASS
DL	DIVIDED LIGHT
S.W.P.	STRUCTURED WIRE PANEL
W.D.P.	WATER DISTRIBUTION PANEL

CABINETS

3DB	3 DRAWER BASE	-BPD	BI-PARTING DOORS
BAC	BASE ANGLE CABINET	-FAS	FULL ADJUSTABLE SHELF
BEC	BASE END CABINET	-FH	FULL HEIGHT DOOR (NO DRAWERS)
BTC	BASE TRANSITIONAL CABINET	-FF	FACE FRAME ONLY
BC	BROOM CABINET	-HC	HANDICAP (6" TOE-KICK)
BF	BASE FILLER	-NS	NO SHELF
BMWC	BASE MICROWAVE CABINET	-STK	SLIDE-OUT TRAY KITS
BVB	BASE VEGETABLE BIN	-TC	TRASH CAN PULL-OUT
CP	CHEF'S PANTRY	-TOT	TILT-OUT TRAY
CDB	CORNER DRAWER BASE	-WBK	WICKER BASKET
CTB	COOKTOP BASE w/ DRAWERS	-SPO	SPICE PULL-OUT
CWCAG	CORNER APPLIANCE GARAGE	-UT	UTENSIL PULL-OUT
DSB	DIAGONAL SINK BASE	CVSB	COMBINATION VANITY SINK BASE
LHC	LINEN HAMPER CABINET	CVSD	COMBINATION VANITY SINK DRAWER
LSB	LAZY SUSAN BASE	FD	FILE DRAWER
PC	PANTRY CABINET	LHC	LINEN HAMPER CABINET
PB	PENINSULA BASE	VB	VANITY BASE (NO SINK)
RBB	REVERSIBLE BLIND BASE	VDB	VANITY DRAWER BASE
REP	REFRIGERATOR END PANEL	VDSK	VANITY DESK DRAWER
SB	SINK BASE	VS	VANITY SINK BASE
TB	TRAY BASE (no drawer or shelves)	VSD	VANITY SINK DRAWER BASE
UC	UTILITY CABINET		
UOC	UNIVERSAL OVEN CABINET		

ELEVATIONS

F.F.	FINISH FLOOR
PLT.	PLATE HEIGHT
T.POST	TURNED POST
COL.	COLUMN
DIA.	DIAMETER
6x6	6" SQUARE POST
EXP.	EXPANSION
ABV.	ABOVE
CLG.	CEILING
HDR.	HEADER
SLP. CLG.	SLOPE CEILING
RIDGE VENT	RIDGE MOUNTED ROOF VENT

TILE LAYOUT OPTIONS

DIAGONAL	
OFFSET	
STACKED	

- EXTERIOR WALL DIMENSIONS ARE TO STUD AND REFLECT 1/2" INSET FROM EDGE OF SLAB OR MASONRY LEDGE. SEE SLAB PLAN FOR OVERALL DIMENSIONS.

JOB SPECIFIC NOTES:

- QUARTZ THROUGHOUT
- 5 1/4" BASE BOARDS. DOORS TO BE ± 6" FROM CORNERS TO ALLOW FOR 3 1/2" SHAKER STYLE DOOR CASING.
- GAS CONNECTION AT COOKTOP, & TANKLESS WATER HEATER.
- NO MIRRORS IN ALL BATHS.
- SOFT CLOSE DOOR HINGES THROUGHOUT.

FINAL PLANS

5053

CANYON C

EC-3/14/2022 -JM
PERMIT- 6/8/2022 -JM

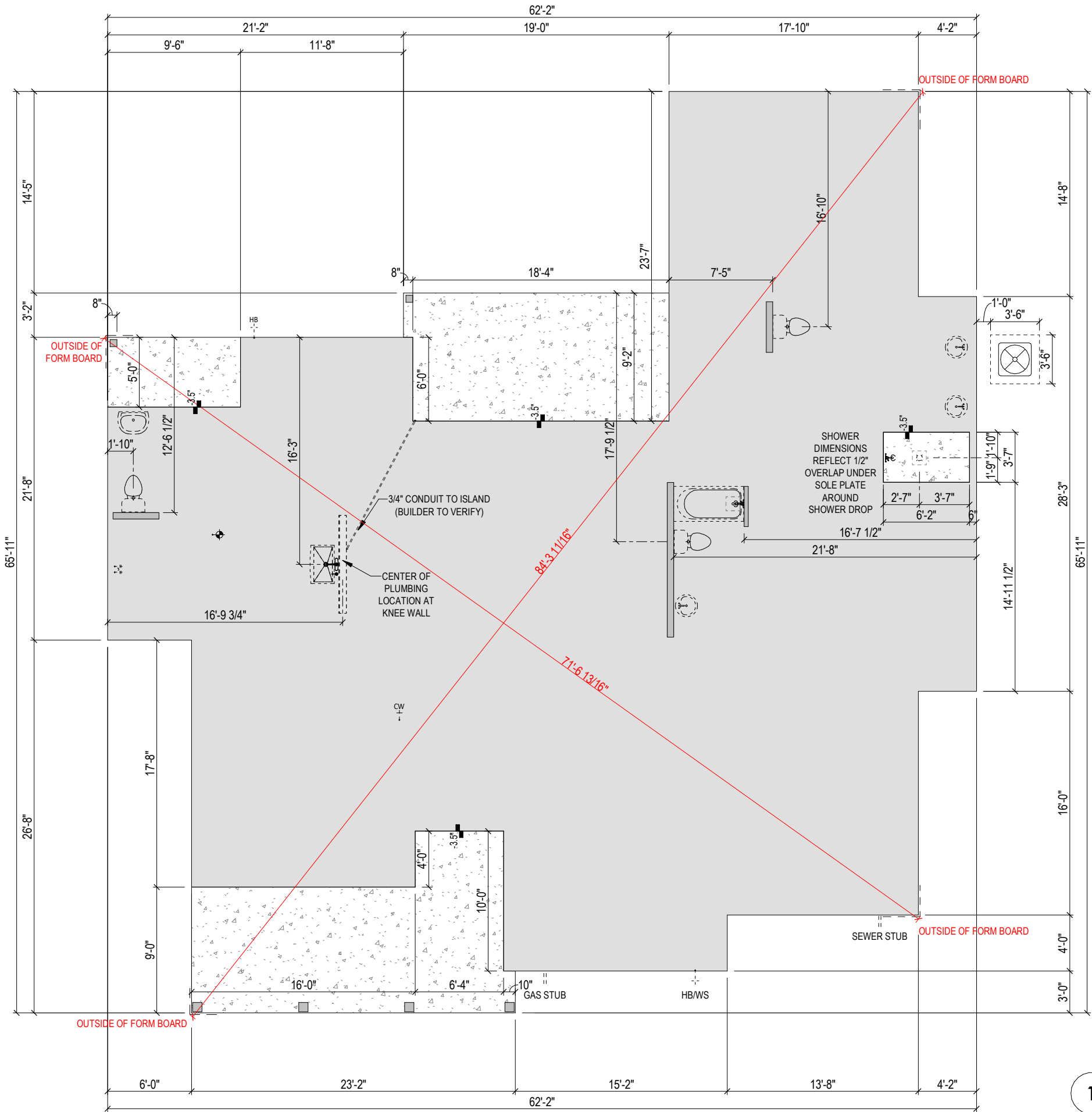
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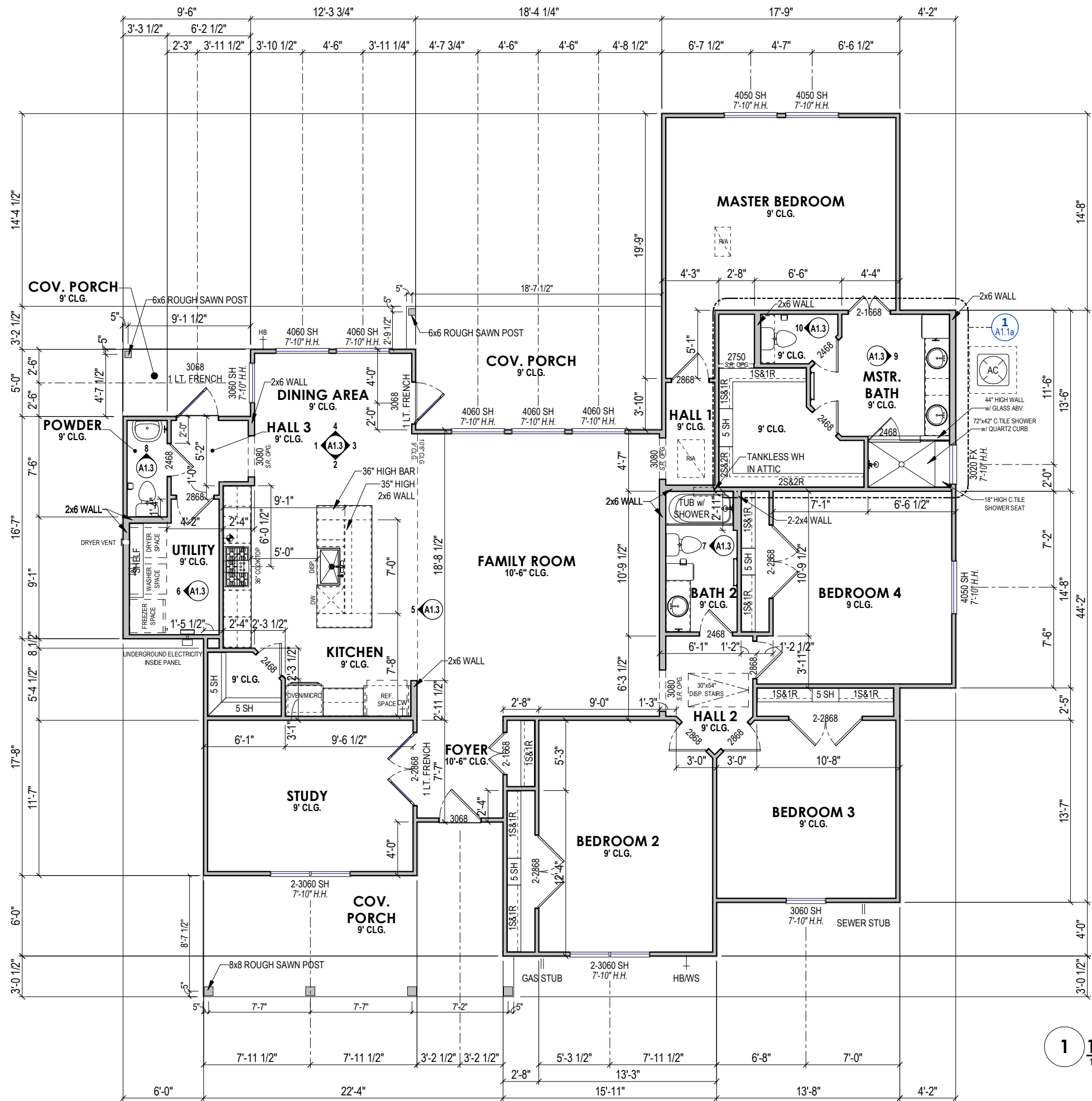
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Job #1222037
Williamson County, City of Hutto

A0-CV



1 SLAB PLAN
1/8" = 1'-0"



FLOOR PLAN NOTES

BATH ACCESSORIES:
(HEIGHT TO BE BLOCKED & MOUNTED)

- TOWEL BARS - 54" A.F.F.
- TOILET PAPER HOLDER - 28" A.F.F.
- ROBE HOOK - 72" A.F.F.
- TOWEL RING - 60" A.F.F.
- SHOWER ROD - 58" ABV. TUB DECK

PLUMBING:

- RANGE GAS SHUT-OFF VALVE (IF APPLICABLE) TO BE LOCATED IN ADJACENT CABINET

HVAC:

- FRESH AIR INTAKE SHALL BE VENTED THROUGH SOFFIT OR GABLE WALL

WATER HEATER:

- IF LOCATED IN ATTIC: PROVIDE PAN AND DRAIN
- IF GAS & LOCATED IN CLOSET: WEATHERSTRIP DOOR, PROVIDE OUTSIDE COMBUSTIBLE AIR, & INSULATE WALLS

GARAGE (IF APPLICABLE):

- SEE SPECS FOR FINISH

FINAL PLANS

5053

CANYON C

EC-3/14/2022 - JM
PERMIT- 6/8/2022 - JM

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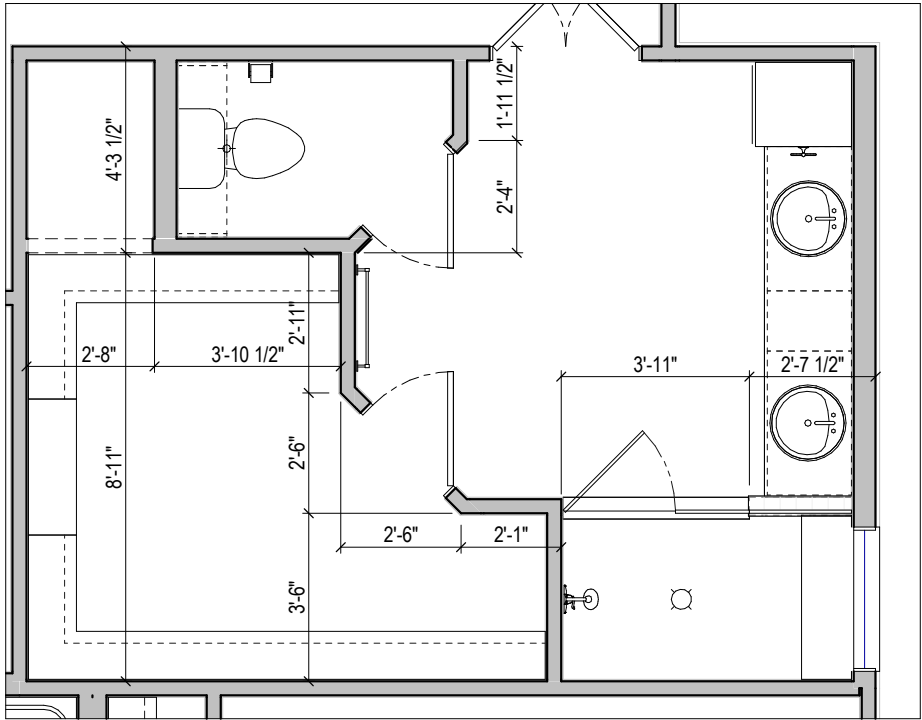
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A1.1

1 MASTER BATH DETAIL
1/4" = 1'-0"



ROOM FINISH SCHEDULE			
Name	Ceiling Height	Crown Mould Type	Chair Rail
1ST FLOOR			
BATH 2	9'	(none)	
BEDROOM 2	9'	(none)	
BEDROOM 3	9'	(none)	
BEDROOM 3 CLOSET	9'	(none)	
BEDROOM 4	9	(none)	
BEDROOM 4 CLOSET	9	(none)	
DINING ROOM	9'	(none)	
FAMILY ROOM	10'-6"	(none)	
FOYER	10'-6"	(none)	
FOYER CLOSET	9'	(none)	
HALL 1	9'	(none)	
HALL 2	9'	(none)	
HALL 3	9'	(none)	
KITCHEN	9'	(none)	
MASTER BATH	9'	(none)	
MASTER BATH WATER CLOSET	9'	(none)	
MASTER BEDROOM	9'	(none)	
MASTER BEDROOM CLOSET	9'	(none)	
PANTRY	9'	(none)	
POWDER	9'	(none)	
STUDY	9'	(none)	
UTILITY	9'	(none)	

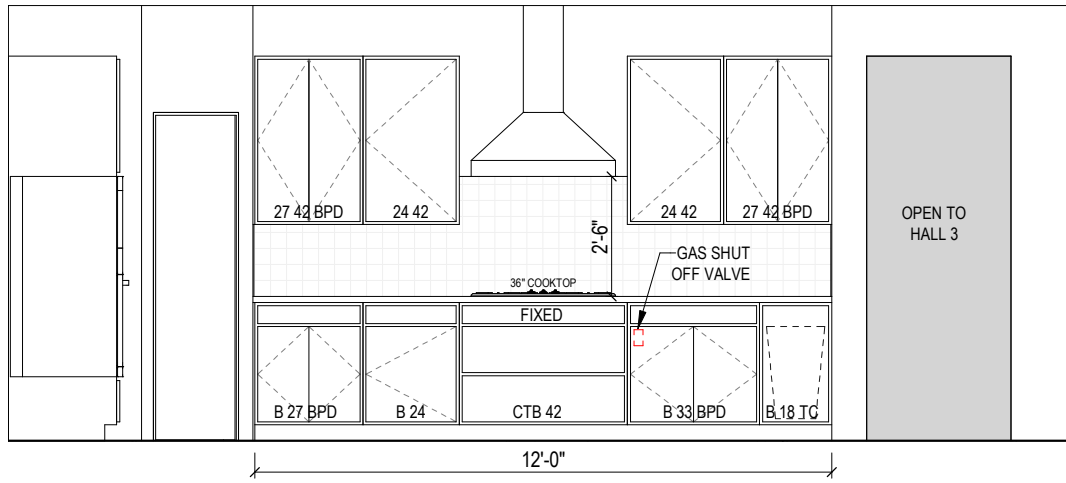
FLOORING SCHEDULE		
Room	Flooring	Area
Flooring - Ceramic Tile		
Master Bath	CERAMIC TILE	70 SF
Master Bath Water Closet	CERAMIC TILE	18 SF
		88 SF
Flooring - Vinyl Plank		
Bath 2	VINYL PLANK	34 SF
Bedroom 2	VINYL PLANK	218 SF
Bedroom 2 Closet	VINYL PLANK	24 SF
Bedroom 3	VINYL PLANK	172 SF
Bedroom 3 Closet	VINYL PLANK	21 SF
Bedroom 4	VINYL PLANK	194 SF
Bedroom 4 Closet	VINYL PLANK	21 SF
Dining Room	VINYL PLANK	138 SF
Family Room	VINYL PLANK	391 SF
Foyer	VINYL PLANK	48 SF
Foyer Closet	VINYL PLANK	10 SF
Hall 1	VINYL PLANK	27 SF
Hall 2	VINYL PLANK	46 SF
Hall 3	VINYL PLANK	31 SF
Kitchen	VINYL PLANK	145 SF
Master Bedroom	VINYL PLANK	262 SF
Master Bedroom Closet	VINYL PLANK	85 SF
Pantry	VINYL PLANK	23 SF
Powder	VINYL PLANK	21 SF
Study	VINYL PLANK	171 SF
Utility	VINYL PLANK	61 SF
		2142 SF

NOTE: FLOORING LAYOUT SHOWN IS FOR ILLUSTRATION PURPOSES ONLY.

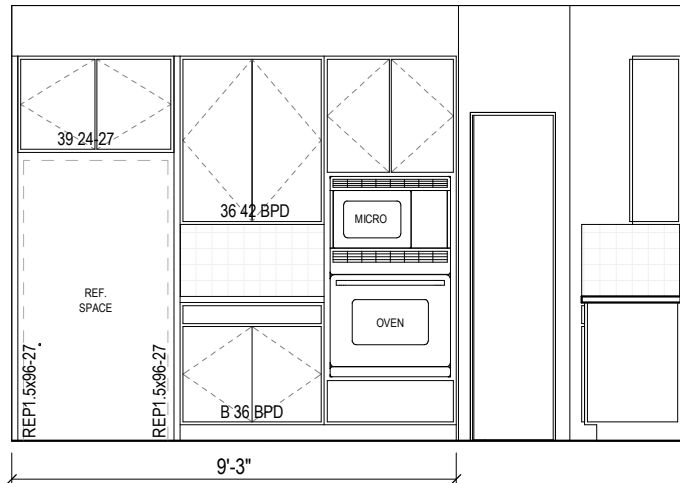
SEE OPTIONS ADDENDUM FOR JOB SPECIFIC LAYOUT.



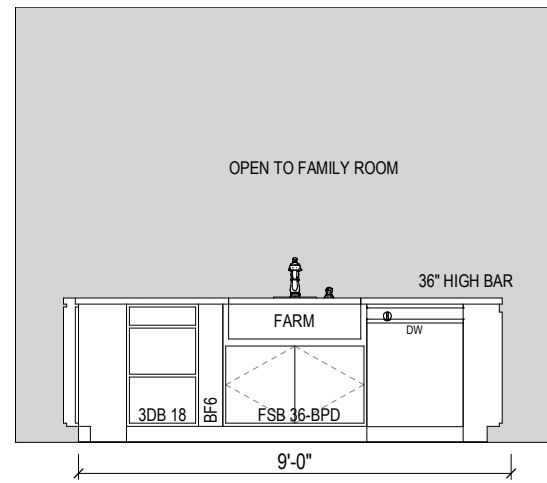
1 1ST FLOOR ROOM FINISH PLAN
1/8" = 1'-0"



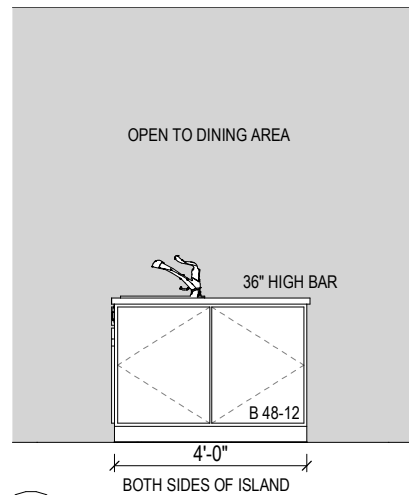
1 **KITCHEN - COOKTOP WALL**
1/4" = 1'-0"



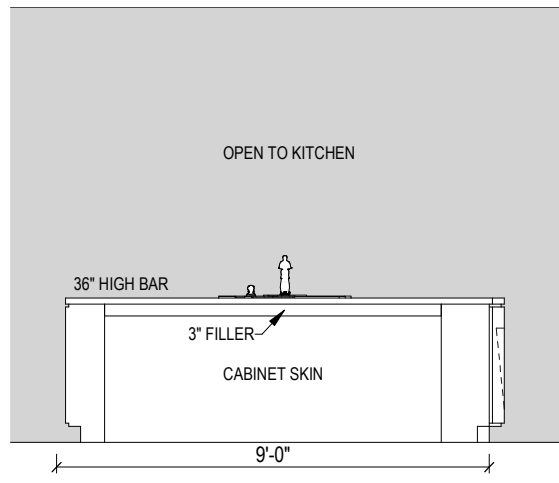
2 **KITCHEN - REF. WALL**
1/4" = 1'-0"



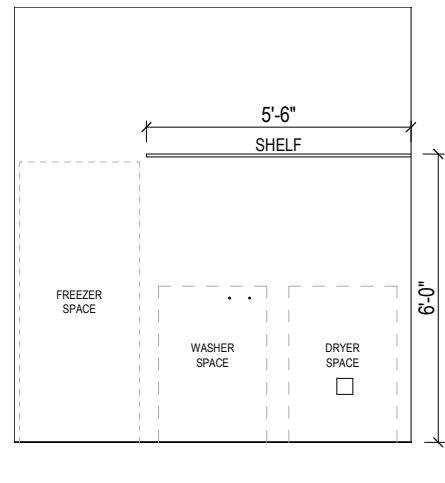
3 **KITCHEN - ISLAND**
1/4" = 1'-0"



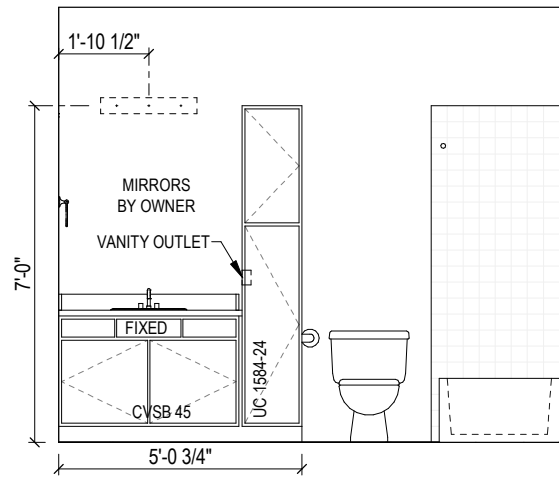
4 **KITCHEN - ISLAND SIDE**
1/4" = 1'-0"



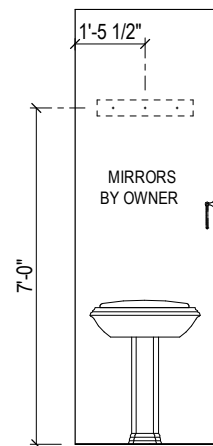
5 **KITCHEN - ISLAND REAR**
1/4" = 1'-0"



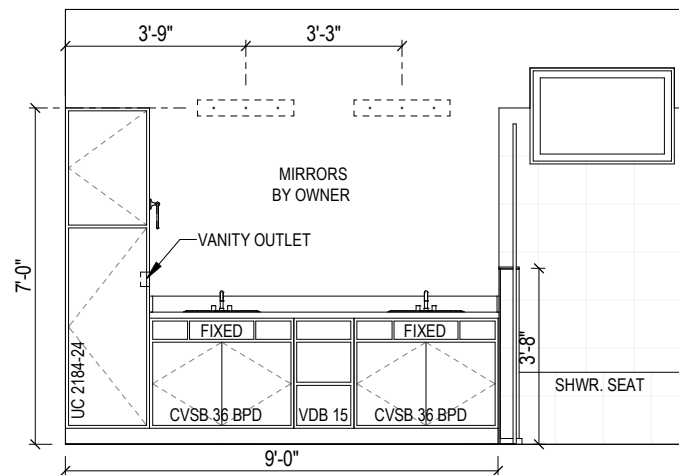
6 **UTILITY**
1/4" = 1'-0"



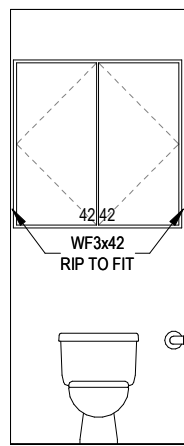
7 **BATH 2**
1/4" = 1'-0"



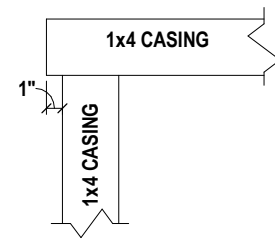
8 **POWDER**
1/4" = 1'-0"



9 **MASTER BATH**
1/4" = 1'-0"

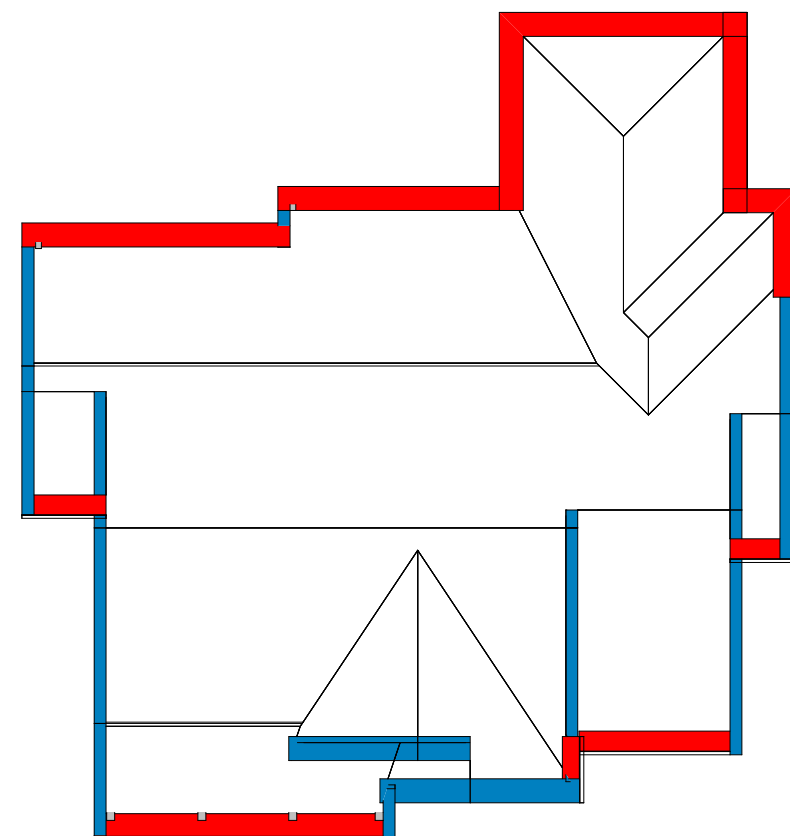
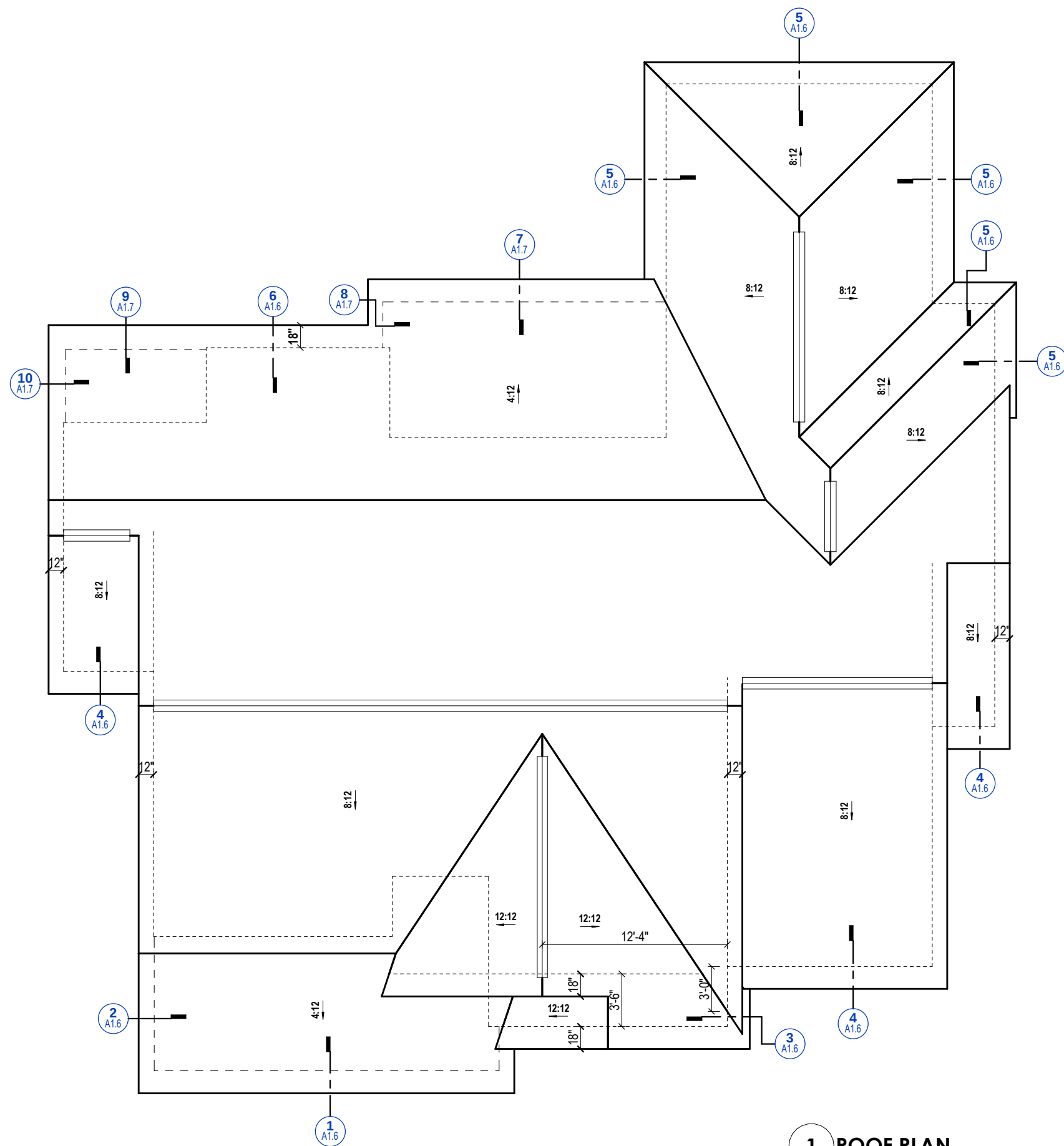


10 **MASTER BATH - WC**
1/4" = 1'-0"



SHAKER DOOR CASING

WALL TILE	
Bathroom Wall Tile Only	59 SF
Kitchen Wall Tile Only	32 SF
Master Bath Wall Tile Only	95 SF



2 SOFFIT PLAN

$$\frac{1}{16}'' = 1'-0$$

SOFFIT LEGEND

☒ VENTED SOFFIT

☐ NON VENTED SOFFIT

FINAL PLANS

5053

CANYON C

FC- 3/14/2022 - JM
PERMIT- 6/8/2022 - JMFC-3714/2022 - JM
PERMIT- 6/8/2022 - JM

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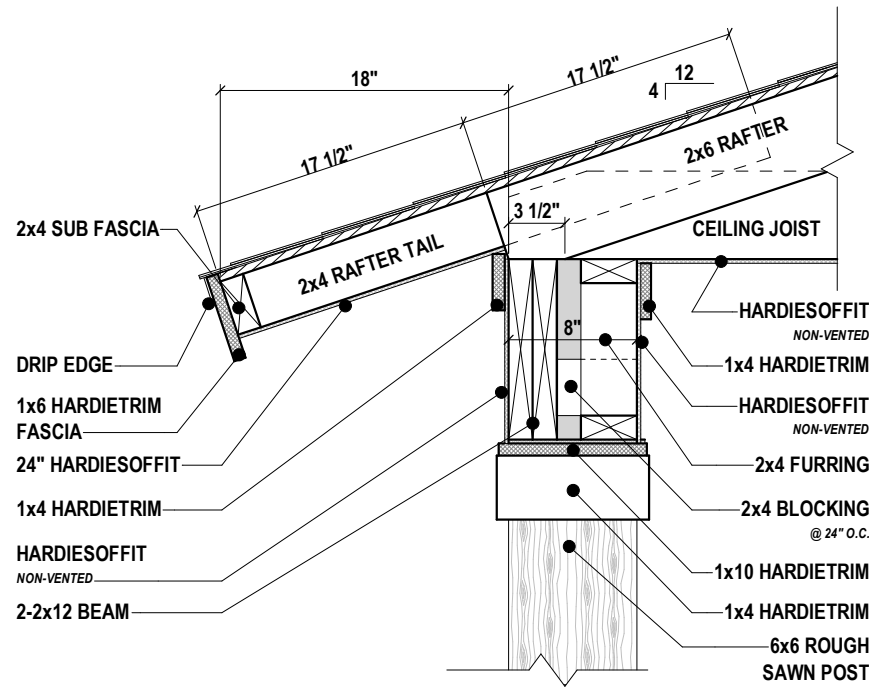
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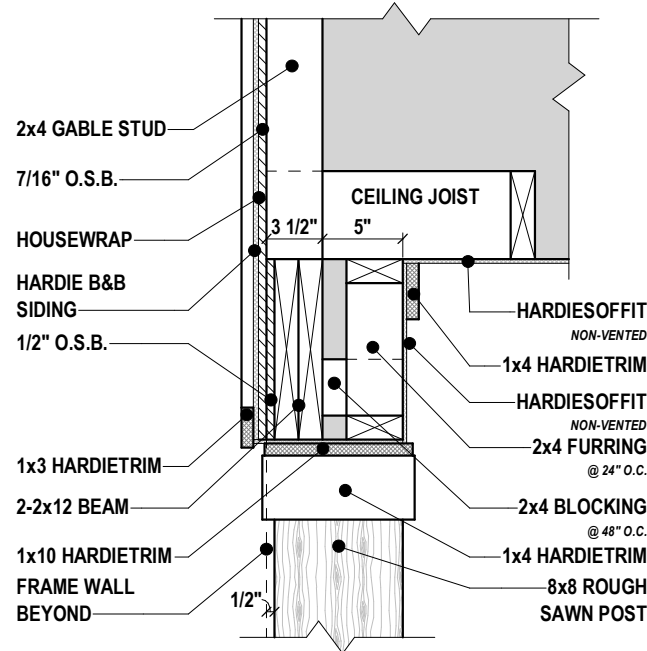
Job #1222037

Williamson County, City of Hutto

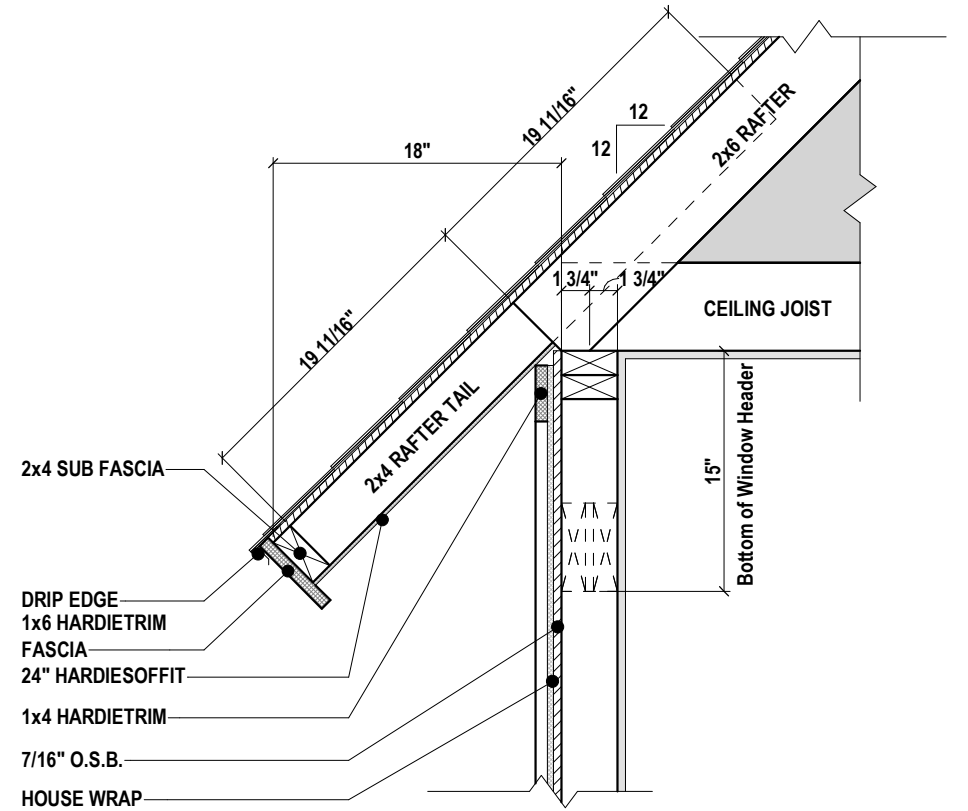
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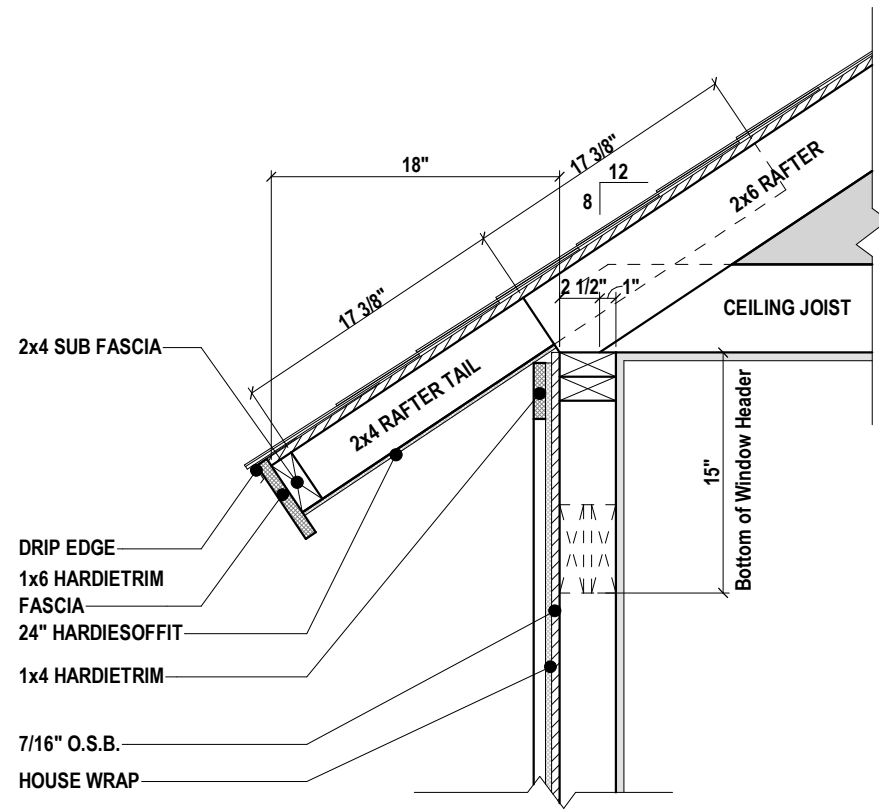
1 4-12 FRONT PORCH CORNICE
1" = 1'-0"



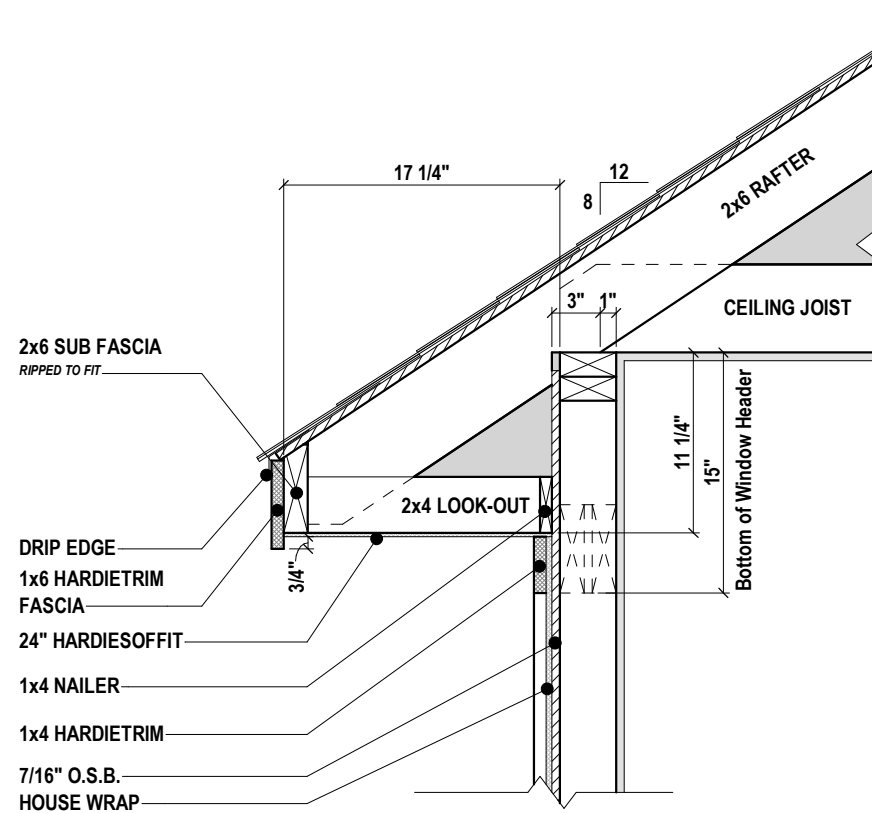
2 FRONT PORCH GABLE END
1" = 1'-0"



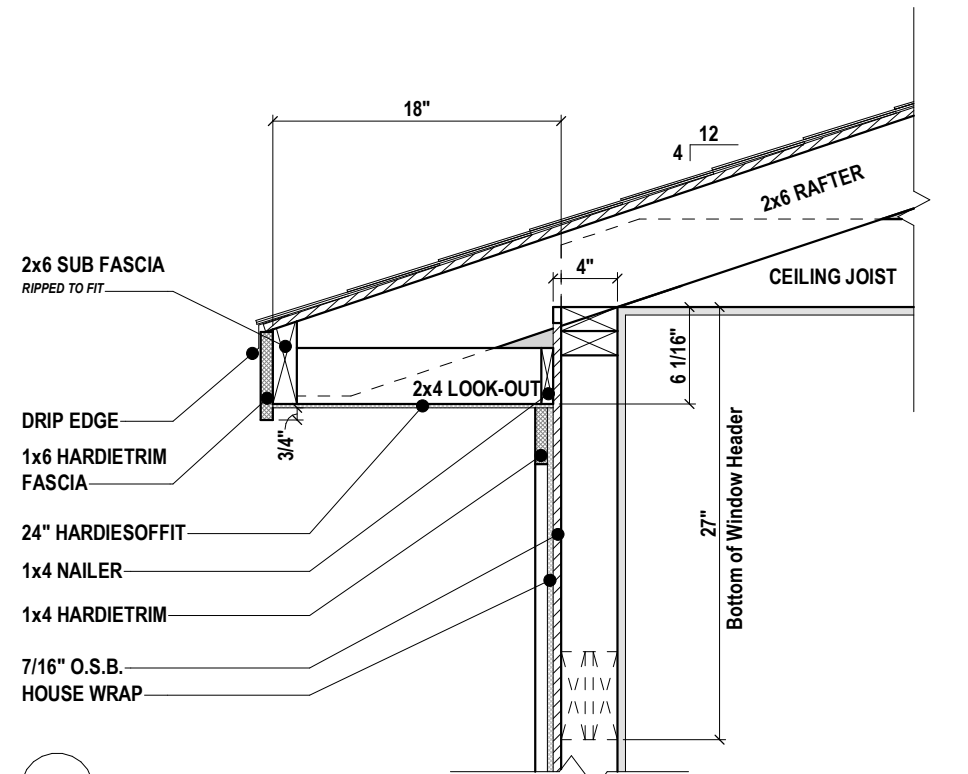
3 12-12 CORNICE - RAKED
1" = 1'-0"



4 8-12 CORNICE - RAKED
1" = 1'-0"



5 8-12 CORNICE
1" = 1'-0"



6 4-12 CORNICE
1" = 1'-0"

FINAL PLANS

5053

CANYON C

EC-3/14/2022-JM
PERMIT- 6/8/2022 -JM

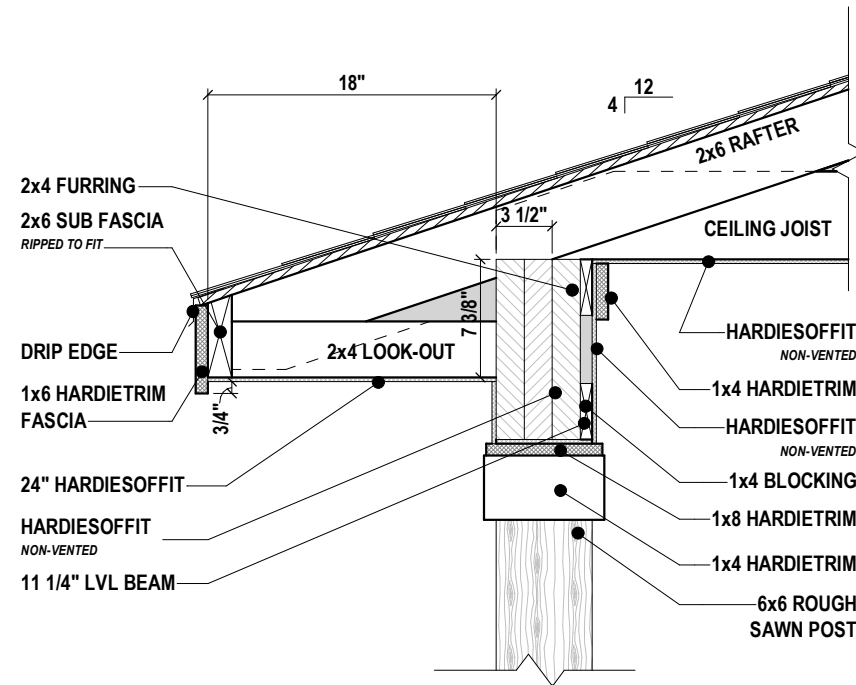
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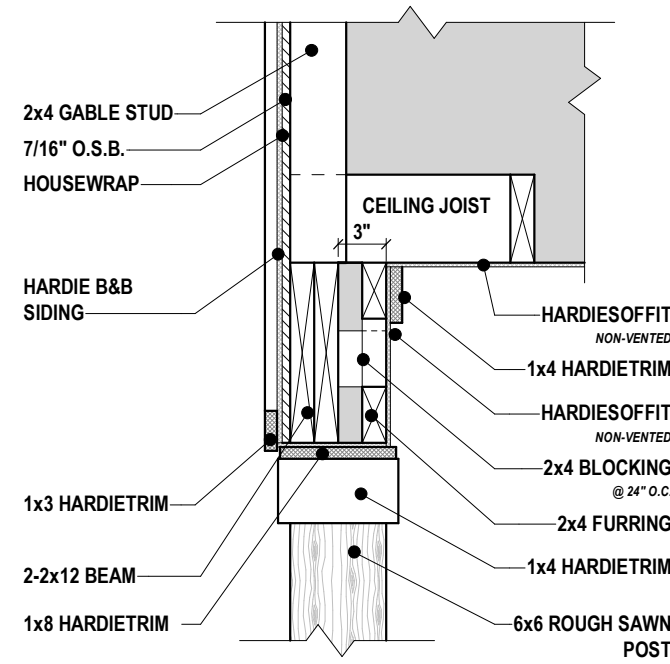
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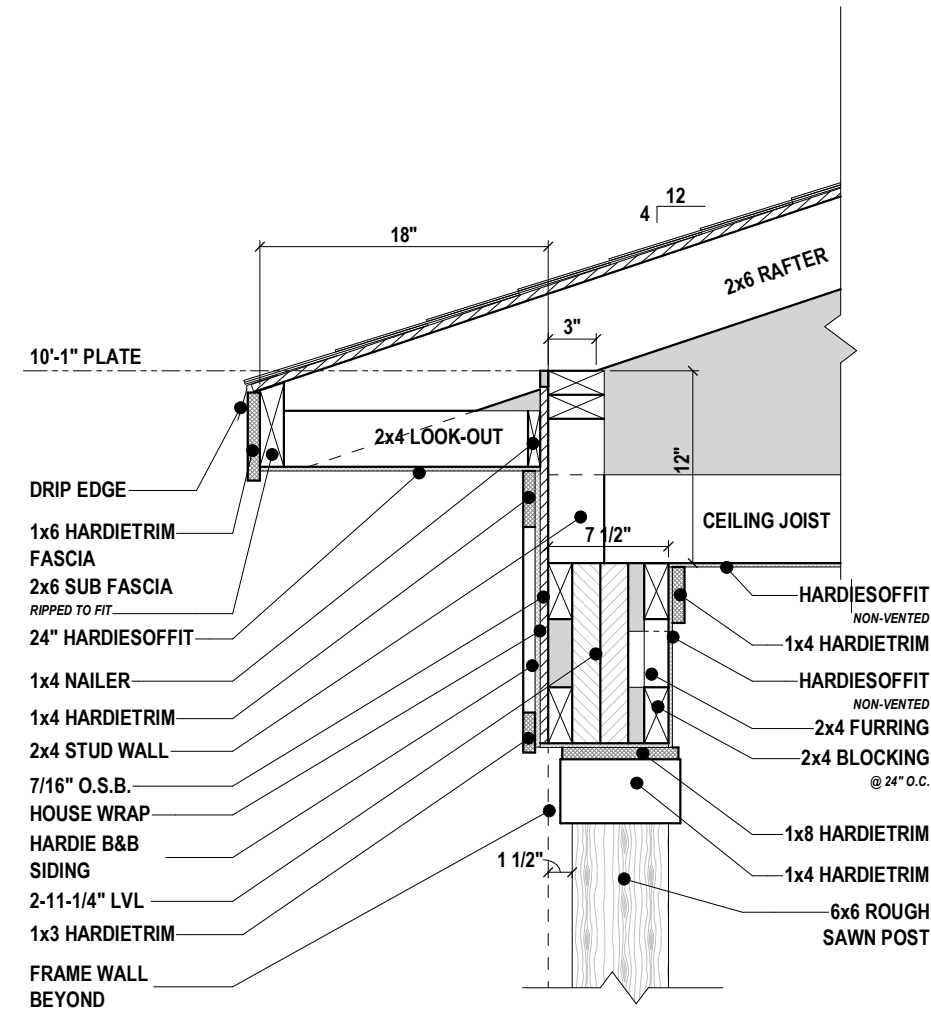
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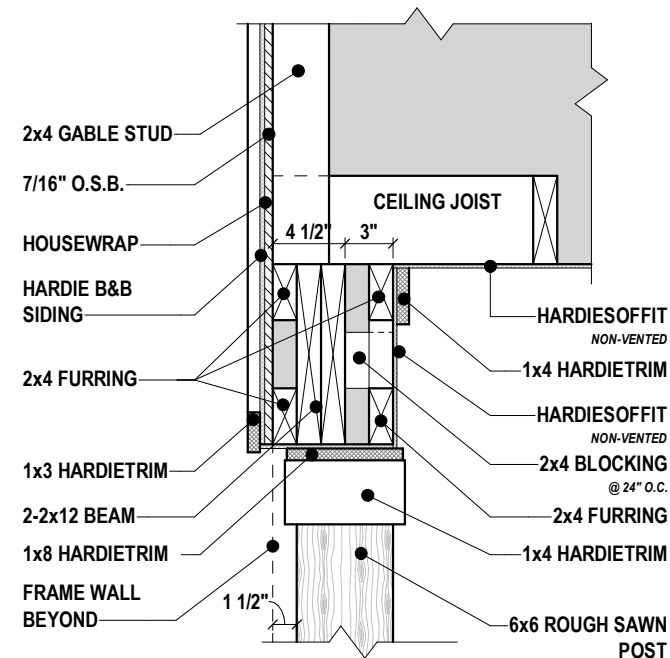
7 4-12 REAR PORCH CORNICE
1" = 1'-0"



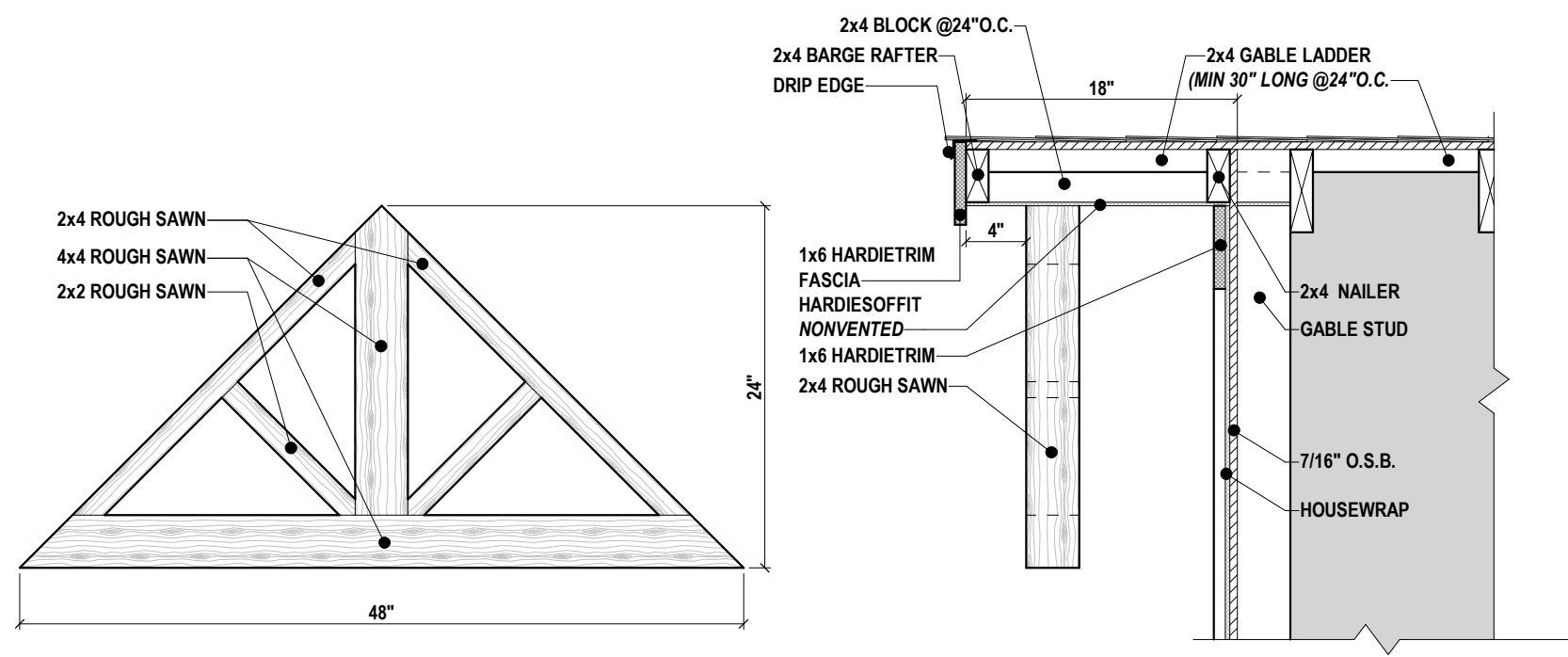
8 PORCH GABLE END
1" = 1'-0"



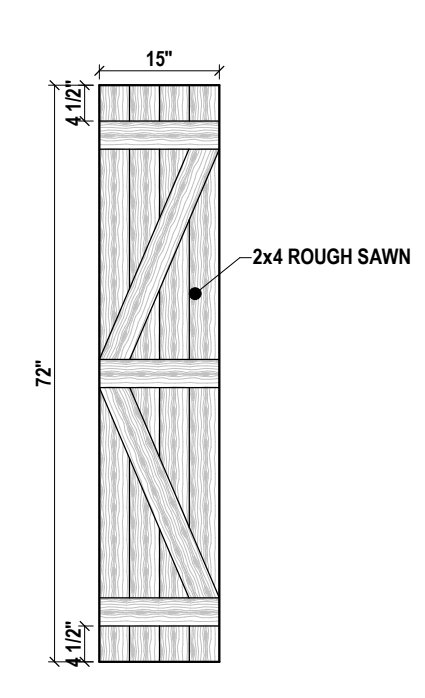
9 4-12 REAR PORCH CORNICE - HIGH PLATE
1" = 1'-0"



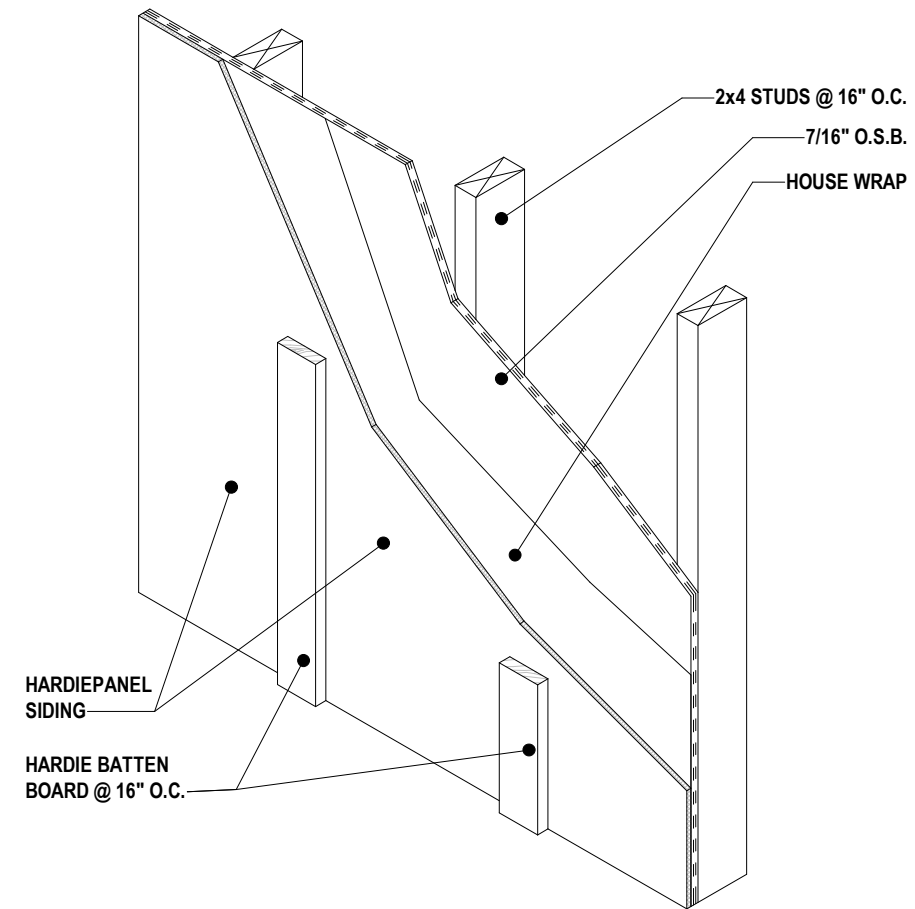
10 PORCH GABLE END
1" = 1'-0"



1 **GABLE BRACKET**
1" = 1'-0"

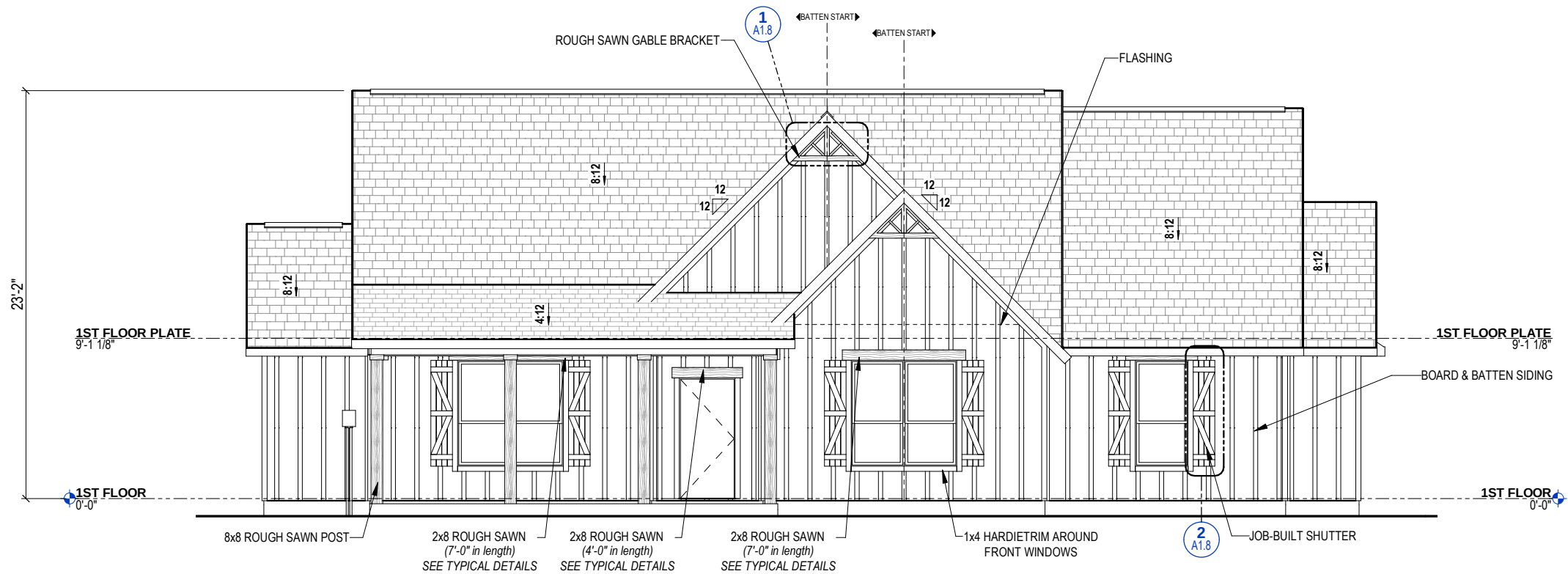


2 **SHUTTER DETAIL**
1/2" = 1'-0"

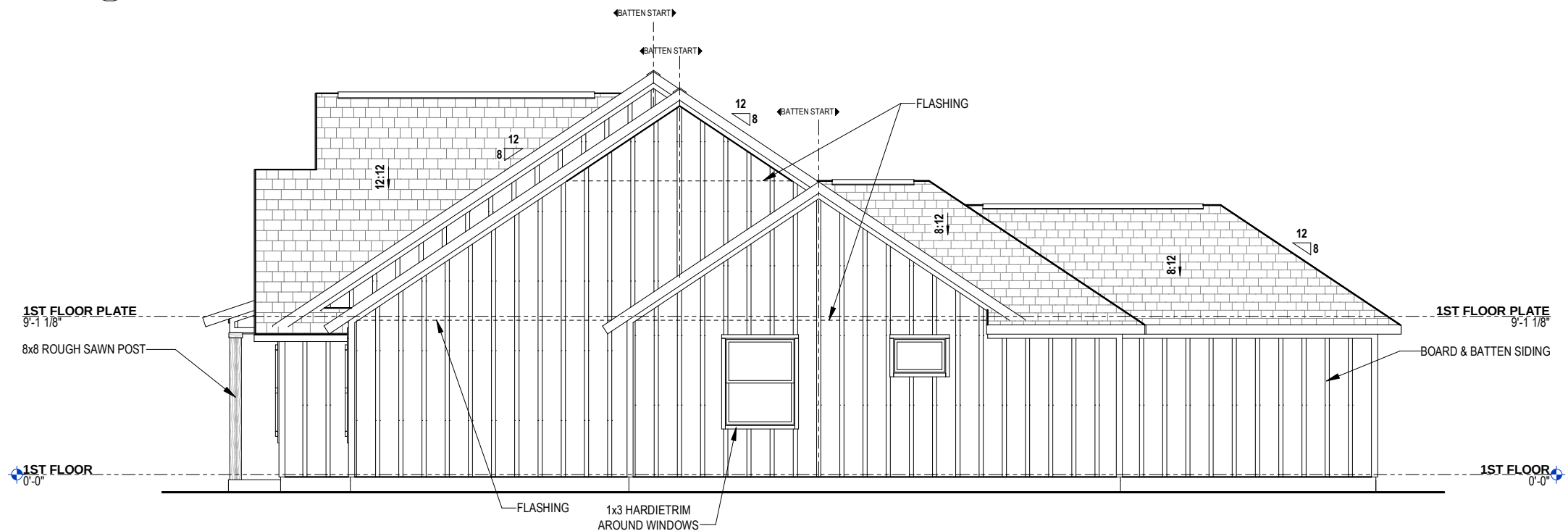


NOTE: USE 1/2" x 5/16" x 1-3/16" Z-FLASHING BETWEEN HARDIEPANEL SHEETS @ HORIZONTAL JOINTS

3 **BOARD & BATTEN SIDING DETAIL**
1" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"

FINAL PLANS

5053
CANYON C

EC-3/14/2022-JM
PERMIT- 6/8/2022 -JM

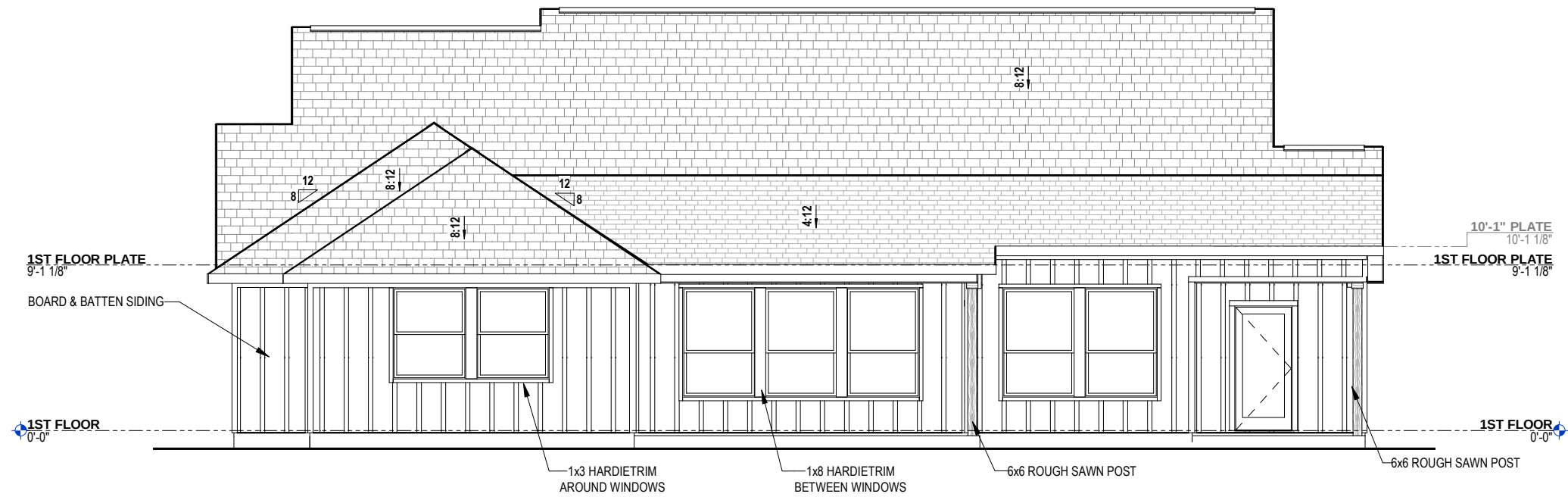
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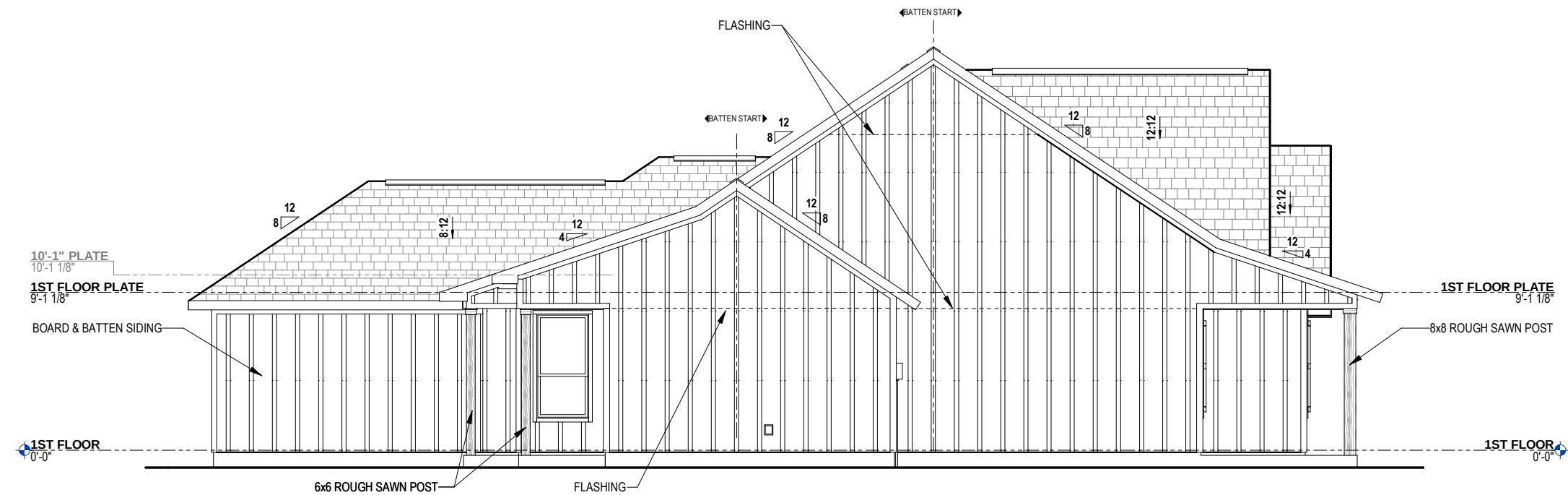
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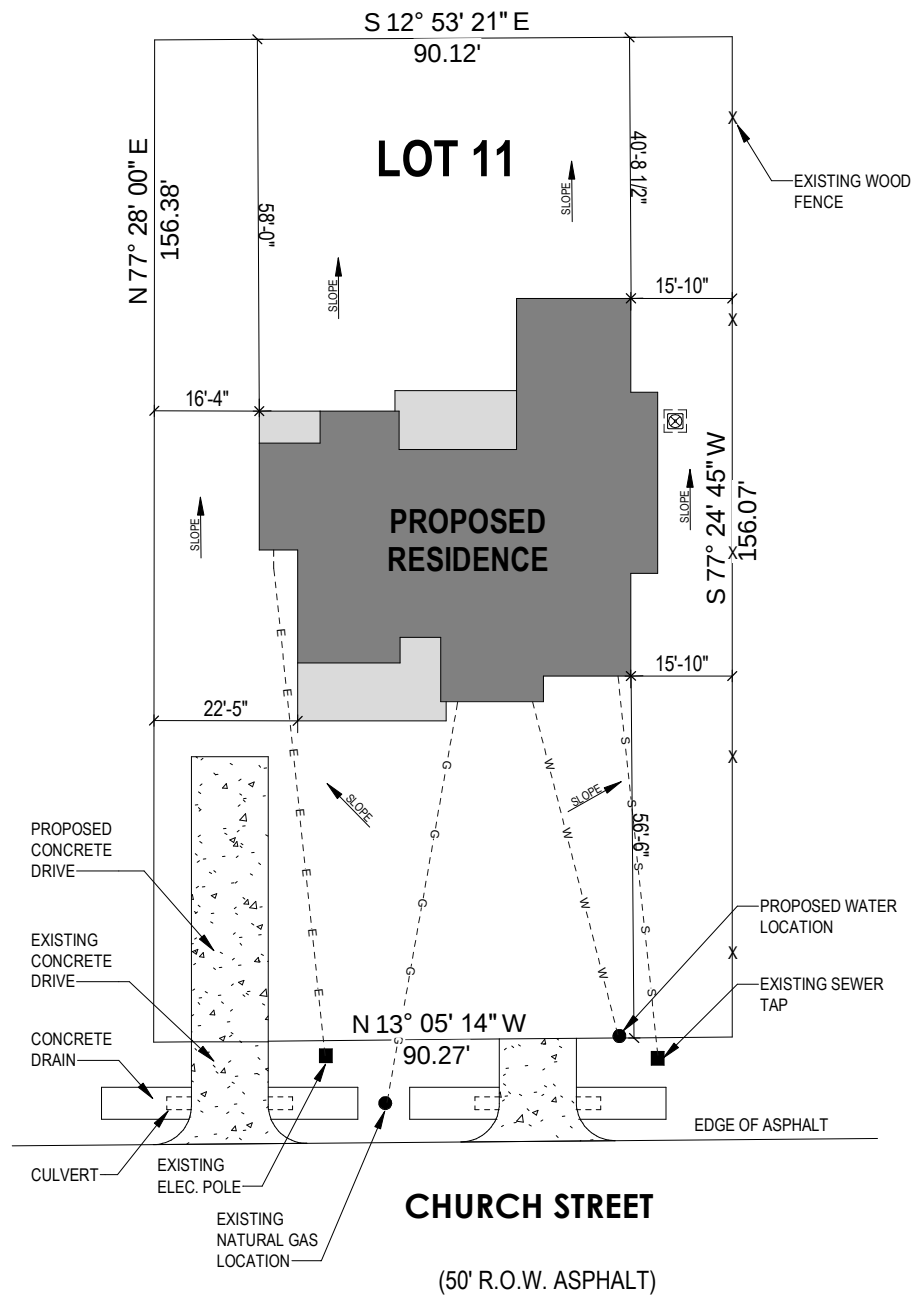
A2.0



1 REAR ELEVATION
1/8" = 1'-0"



2 LEFT ELEVATION
1/8" = 1'-0"



1 SITE PLAN
1" = 30'-0"

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Job #1222037
Williamson County, City of Hutto

A-SITE

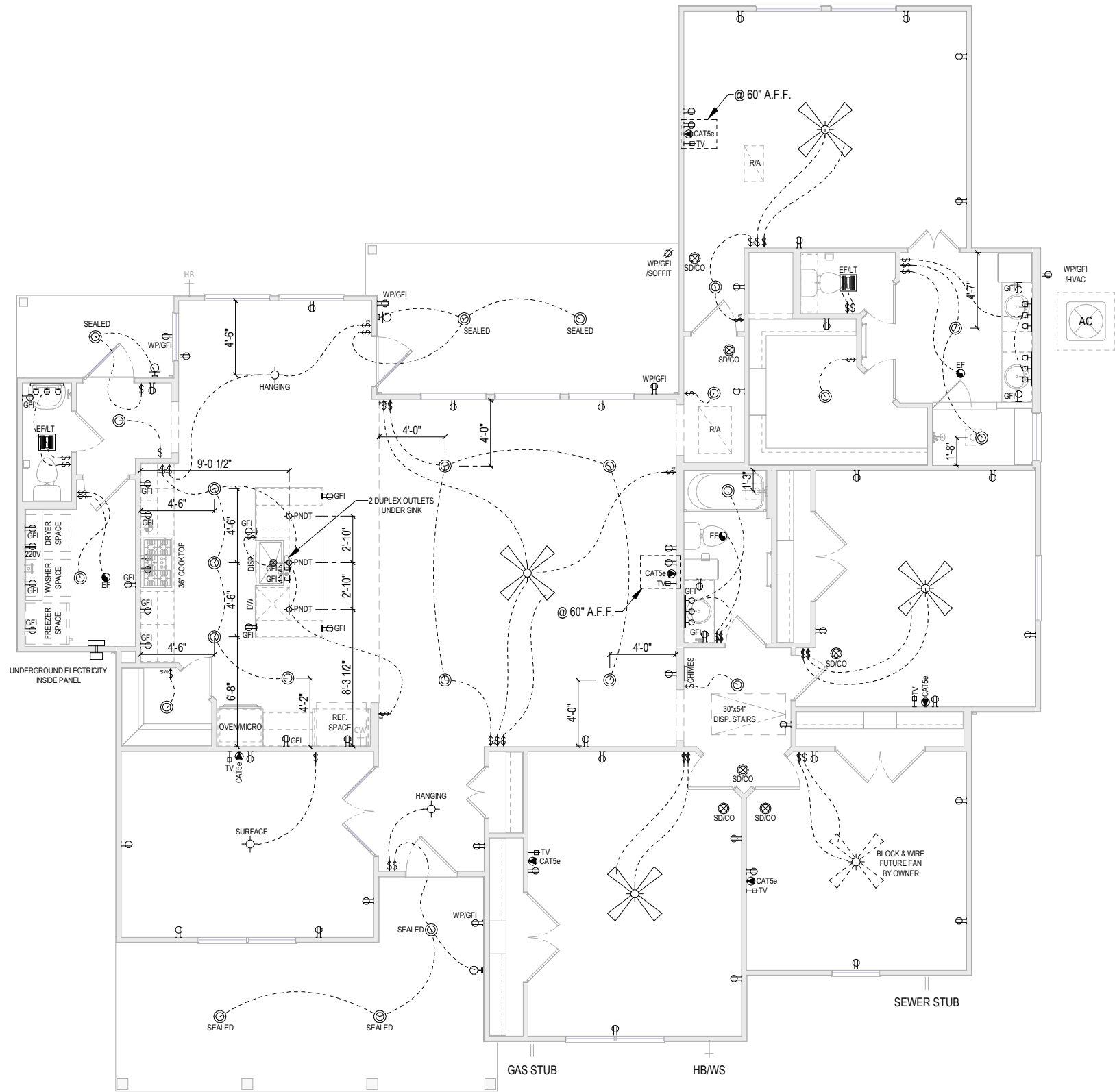
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EC-3/14/2022-JM
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FINAL PLANS
5053
CANYON C



1 1ST FLOOR ELECTRICAL PLAN
1/8" = 1'-0"

ELECTRICAL LEGEND			
⌚	SINGLE POLE SWITCH	⌚	STRUCTURED WIRE PANEL
⌚	3-WAY SWITCH	⌚	CHIMES
⌚	4-WAY SWITCH	⌚	DOOR BELL CHIME
⌚	DIMMER SWITCH	⌚	GARAGE DOOR OPENER
⌚	MOTION SENSOR SWITCH	⌚	GARBAGE DISPOSAL
⌚	FAN CONTROL SWITCH	⌚	WEATHERPROOF OUTLET
⌚	220 VOLT OUTLET	⌚	SOFFIT/EAVE OUTLET
⌚	DUPLEX OUTLET	⌚	CEILING OUTLET
⌚	GROUND FAULT OUTLET	⌚	FLOOR OUTLET
⌚	UNDER-COUNTER DUPLEX OUTLET	⌚	NETWORK OUTLET
⌚	CARBON MONOXIDE & SMOKE DETECTOR	⌚	TELEPHONE OUTLET
⌚	WALL MOUNTED SD/CO	⌚	TELEVISION OUTLET
⌚	WALL MOUNT LIGHT	⌚	BATH FAN
⌚	FLOOD LIGHT	⌚	BATH HEATER
⌚	VANITY STRIP LIGHT - 2 BULB	⌚	BATH FAN & LIGHT COMBO
⌚	VANITY STRIP LIGHT - 3 BULB	⌚	BATH FAN & HEATER COMBO
⌚	VANITY STRIP LIGHT - 4 BULB	⌚	BATH FAN HEATER & LIGHT COMBO
⌚	SURFACE MOUNT LIGHT	⌚	UNDER CABINET LIGHT
⌚	HANGING LIGHT	⌚	RECESSED LIGHT
⌚	PULL CHAIN LIGHT	⌚	RECESSED EYEBALL LIGHT
⌚	HANGING PENDANT LIGHT	⌚	MINI RECESSED LIGHT
⌚	KEYLESS LIGHT	⌚	PUCK LIGHT
⌚		⌚	2-4" TUBE FLUOR
⌚		⌚	CLOSET FLUORESCENT
⌚		⌚	FLUOR. LT. STRIP
⌚		⌚	GARAGE FLUORESCENT
⌚		⌚	ROUGH-IN CEILING FAN
⌚		⌚	CEILING FAN w/ LIGHT

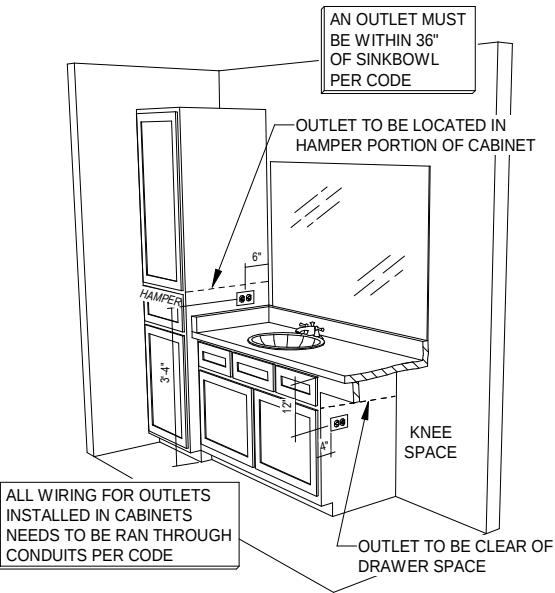
ELECTRICAL PLAN NOTES

PROVIDE 110V ELECTRICAL BOX, INSTALLED HORIZONTAL 12" FROM CEILING BEHIND CHIME BOX.

OUTLETS IN FOLLOWING ROOMS TO BE INSTALLED SIDEWAYS. MEASUREMENTS ARE TO THE BOTTOM OF THE OUTLETS.
BATHS
• 39" FROM FLOOR, 33" HIGH VANITIES
• 42" FROM FLOOR, 36" HIGH VANITIES
KITCHEN
• 38" FROM FLOOR, 36" HIGH BASE CABINETS
UTILITY
• 42" FROM FLOOR

GFCI AND ARC FAULT
• OUTLETS WITHIN 6' OF ANY SINK OR EDGE OF SHOWER/TUB MUST BE GFCI
• ALL DISHWASHERS SHALL HAVE GFCI PROTECTION
• ALL GFCI AND ARC FAULT OUTLETS MUST BE READILY ACCESSIBLE
• ALL NON-220v OUTLETS IN A UTILITY ROOM SHALL BE GFCI
• ALL 120v SINGLE PHASE, 15 AND 20 AMP CIRCUITS MUST BE ARC-FAULT EXCEPT OUTLETS IN BATHS, ATTICS, GARAGES, & EXTERIOR
• ALL SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARDWIRED IN SERIES WITH BATTERY BACKUP

LOW VOLTAGE
• ALL CAT5e OUTLETS TO BE TRIMMED WITH RJ-45 KEYSTONES
• ALL RG6 TO BE TRIMMED IN DESIGNATED AREAS
• (2) CAT5e RUNS FROM THE ATTIC OR PANEL (IF PURCHASED) TO EXTERIOR OF HOME
• (2) RG6 RUNS FROM THE ATTIC OR PANEL (IF PURCHASED) TO THE EXTERIOR OF HOME
• BOTH SETS OF RUNS NEED TO BE SERVICE LOOPED IN AN EXTERIOR BOX (IF PANEL IS PURCHASED)
• INTERIOR PANEL BOX (IF PURCHASED) TO HAVE (1) 110v OUTLET
• INTERIOR PANEL BOX (IF PURCHASED) TO HAVE 1-1/2" CONDUIT STUBBED TO 2' INTO ATTIC & CAPPED



OUTLET PLACEMENTS WHEN NOT ADJACENT TO WALL
LOCATION BASED ON PLANS - IF AND WHEN APPLICABLE

VANITY OUTLET DETAIL - TYP

FINAL PLANS
5053
CANYON C

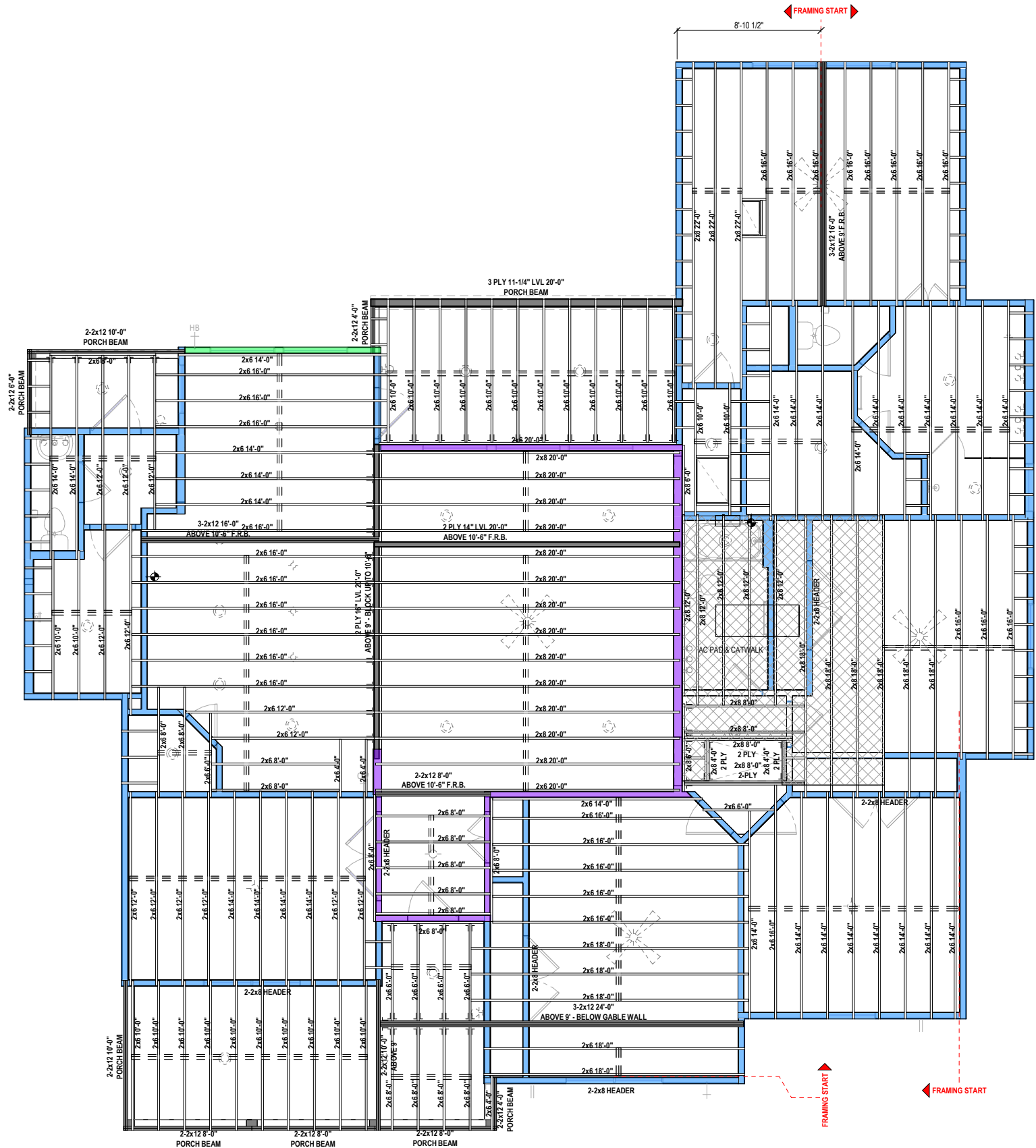
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Job #1222037
Williamson County, City of Hutto

E-1.0



1 1ST FLOOR FRAMING PLAN
1/8" = 1'-0"

WALL FRAMING LEGEND	
	8' PRE-CUT STUD LOCATION
	9' PRE-CUT STUD LOCATION
	10' PRE-CUT STUD LOCATION
	11' PRE-CUT STUD LOCATION
	12' PRE-CUT STUD LOCATION
	DIMENSIONAL LUMBER CUT TO LENGTH

FRAMING NOTES

- 2' 4", AND 6" LUMBER SHALL BE CUT FROM 8" MEMBERS
- F.R.B. DENOTES A FLOATING BEAM FOR ROOF BRACING
- ALL DOOR AND WINDOW HEADERS TO BE 2-2x6 #2 S.Y.P.
(unless noted otherwise)
- ALL DOOR AND WINDOW HEADERS U.F.A. TO BE 2-2x12 #2 S.Y.P.
(unless noted otherwise)
- ALL BEAMS TO BE #2 S.Y.P.
(unless noted otherwise)
- ALL CEILING JOISTS TO BE 2x6 #2 S.Y.P., @ 19.2" O.C.
(unless noted otherwise)
- ALL B.C.I. CEILING JOISTS TO BE SPACED @ 19.2" O.C.
(unless noted otherwise)
- ALL FLOOR JOISTS TO BE 16" B.C.I. @ 19.2" O.C.
(unless noted otherwise)
- ALL RAFTERS TO BE 2x6 #2 S.Y.P. @ 19.2" O.C.
- ALL RIDGES, HIPs, & VALLEYS TO BE ONE SIZE LARGER THAN CONNECTING RAFTERS
- PURLIN BRACING TO BE NO LONGER THAN 13'-0" MAX HORIZONTAL SPAN OF RAFTERS
- "FRAMING START" NOTE IS FOR RAFTER START LOCATION. START RAFTER FRAMING AT THIS POINT AND WORK IN THE DIRECTION OF THE ARROWS
- ATTIC STORAGE ONLY APPROVED WHERE DECKING IS SHOWN
- 10 P.S.F. LIVE LOAD - 5 P.S.F. DEAD LOAD TYPICAL
- 20 P.S.F. LIVE LOAD - 10 P.S.F. DEAD LOAD @ DECKING AREA

MR. & MRS. HUNTER BOWEN
Job #1222037
Williamson County, City of Hutto

F-1.1

TILSON
CUSTOM HOME BUILDERS

Tilson, Home Corporation 2022 ©

The measurements, dimensions, and other specifications shown on this document are guidelines for construction use only. The actual specifications of the finished structure may vary. This document may not be relied on as representation of what the completed structure will look like.

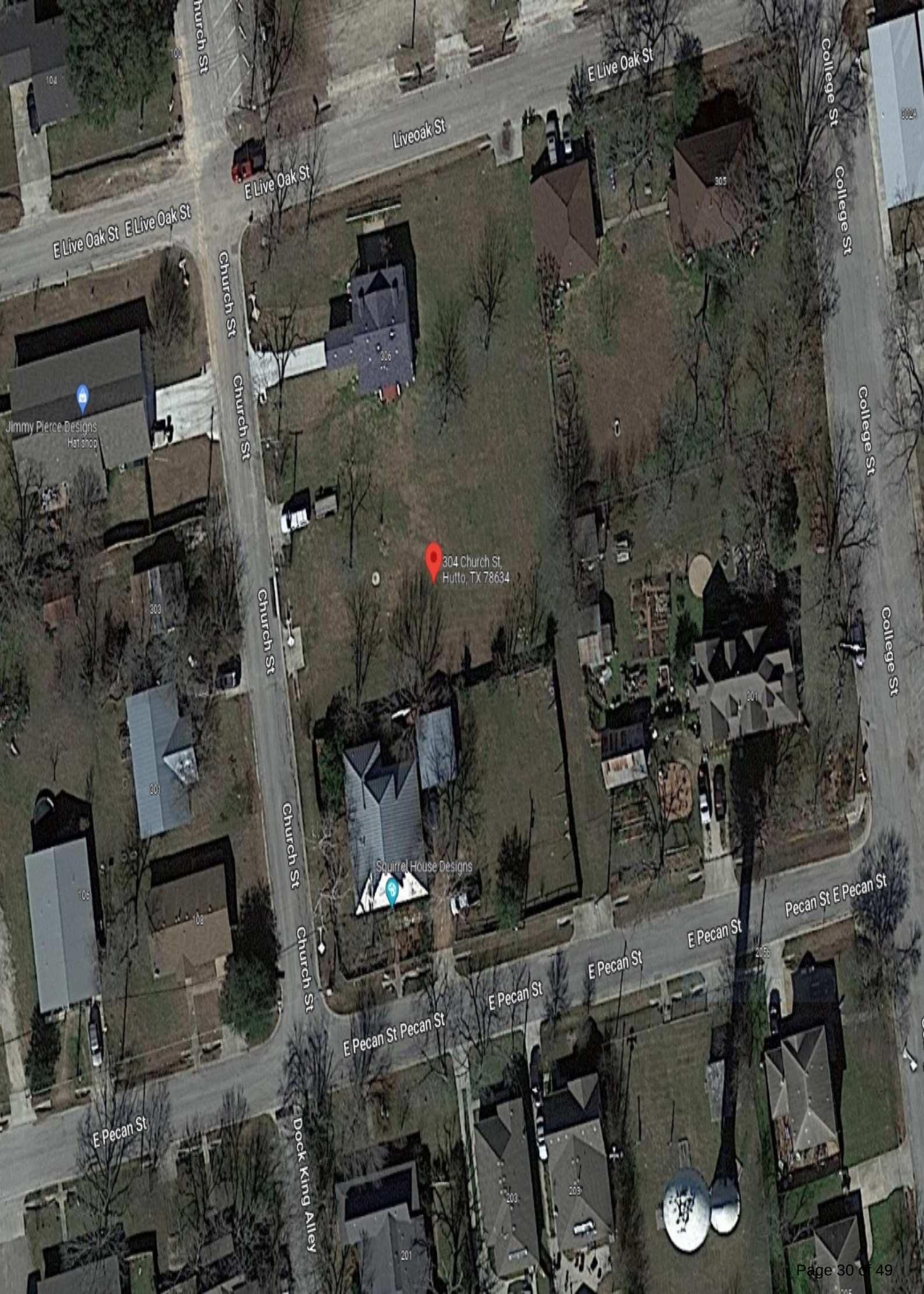
EC-3/14/2022-JM
PERMIT- 6/8/2022 -JM

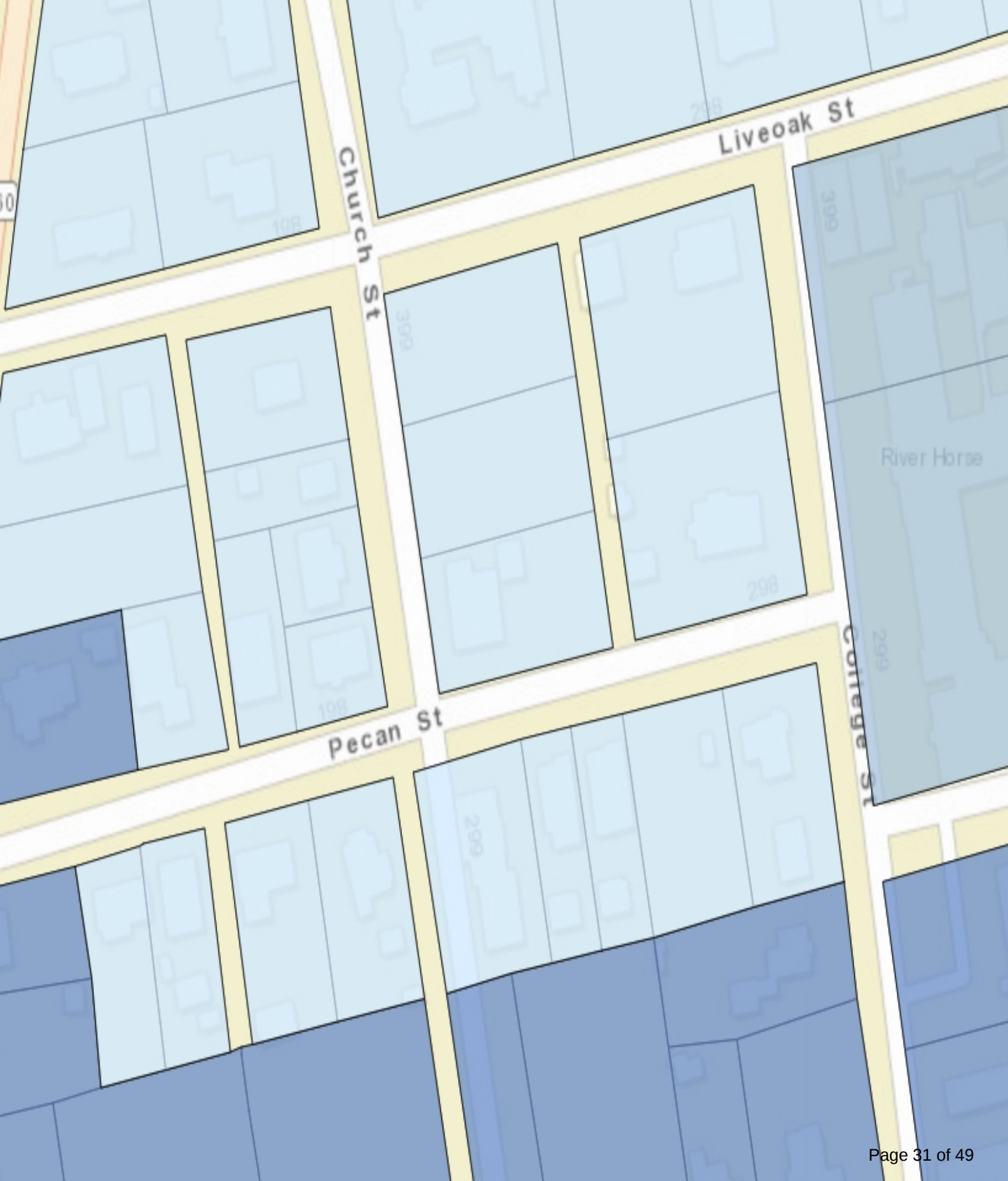
FINAL PLANS

5053
CANYON C



- 2', 4', AND 6' LUMBER SHALL BE CUT FROM 2x8 MEMBERS
- F.R.B. DENOTES A FLOATING BEAM FOR ROOF BRACING
- ALL DOOR AND WINDOW HEADERS TO BE 2-2x6 #2 S.Y.P.
(unless noted otherwise)
- ALL DOOR AND WINDOW HEADERS U.F.A. TO BE 2-2x12 #2 S.Y.P.
(unless noted otherwise)
- ALL BEAMS TO BE #2 S.Y.P.
(unless noted otherwise)
- ALL CEILING JOISTS TO BE 2x6 #2 S.Y.P. @ 19.2" O.C.
(unless noted otherwise)
- ALL B.C.I. CEILING JOISTS TO BE SPACED @ 19.2" O.C.
(unless noted otherwise)
- ALL FLOOR JOISTS TO BE 16" B.C.I. @ 19.2" O.C.
(unless noted otherwise)
- ALL RAFTERS TO BE 2x6 #2 S.Y.P. @ 19.2" O.C.
- ALL RIDGES, HIPs, & VALLEYS TO BE ONE SIZE LARGER THAN CONNECTING RAFTERS
- PURLIN BRACING TO BE NO LONGER THAN 13'-0" MAX HORIZONTAL SPAN OF RAFTERS
- "FRAMING START" NOTE IS FOR **RAFTER START LOCATION**. START RAFTER FRAMING AT THIS POINT AND WORK IN THE DIRECTION OF THE ARROWS
- ATTIC STORAGE ONLY APPROVED WHERE DECKING IS SHOWN
- 10 P.S.F. LIVE LOAD - 5 P.S.F. DEAD LOAD **TYPICAL**
- 20 P.S.F. LIVE LOAD - 10 P.S.F. DEAD LOAD @ DECKING AREA





AGENDA ITEM REPORT

4.3.



To: Historic Preservation Commission
Subject: Consideration and possible action on the Certificate of Appropriateness for an accessory unit on Lot 5, Block D, City of Hutto, known as 506 Church Street.
Meeting: Wednesday, March 22, 2023
Department: Development Services
Staff Contact: John Byrum

BACKGROUND INFORMATION:

506 Church Street is a residential lot, approximately 0.5 acres in size with a 2,503 sq. ft. single family home. The property is zoned OT-3 and falls under the purview of the Historic Preservation Commission. The applicants are proposing a dwelling, accessory unit. The accessory unit structure will match the existing single family home. The next steps include a Building Permit.

Surrounding uses:

- North – OT-3 Single family home
- East – REC Vacant/Fritz Park
- South – OT-3 Single family home
- West – OT-3 Single family home

COA Applicability 10.203.5.2 Applicability

A certificate of appropriateness is required for the following change to the exterior of a structure with a designated or pending historic designation:

- Construction of a new, detached structure in a historic district.

SUMMARY OF REQUEST:

Old Town Hutto has an historic existing character that shall be preserved by rehabilitation of existing significant buildings. In addition, new and infill construction in the district shall reflect the character of the district during its historic period of significance.

The key design principles establish essential goals for development in the Old Town to ensure the preservation, sustainability, and visual quality of this unique environment. Buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces.

Applicable Key Design Principles:

- New buildings/building facades shall utilize building elements and details to achieve compatibility with existing buildings in Old Town.

AGENDA ITEM REPORT

4.3.



- Compatibility is not meant to be achieved through uniformity or replication of existing architecture, but through the use of variations in building elements to achieve individual building identity.
- Building facades must include appropriate architectural details and ornament to create variety and interest.
- Only one accessory dwelling unit is permitted on a lot.
- Lot size for single household dwellings where an accessory dwelling unit may be added must be at least 7800 sq. ft.
- Accessory dwelling units must be attached to the rear of the main house, or incorporated into a detached garage without eliminating the garage's parking spaces. Complete conversion of a detached garage into an accessory dwelling unit is prohibited.
- Floor area for accessory dwelling units must be 400 sq. ft. - 800 sq. ft., or 400 sq. ft. - 33% of the total living area of the host structure, whatever is smaller.
- Accessory dwelling units must have a separate entrance from the outdoors, oriented to the side or rear of the lot if the unit is attached to the main house.
- Recreational vehicles, mobile homes, and shipping containers are prohibited as accessory dwelling units.

STAFF REVIEW:

A Certificate of Appropriateness is evaluated, in part, to the following criteria:

1. The structure or site will be used for its historic purpose or be placed in a new use that is permitted under this code. The use will require minimal change to the defining characteristics of the structure, property, site and environment.
2. The historic character of a structure or site will be kept and preserved. Removal of historic materials or alteration of features and spaces characterizing a structure or property will be avoided.
3. The structure and/or site remains as a physical record of its time, place and use. Changes will not create a false sense of historical development, such as adding conjectural features or architectural elements from other structures or property.
4. Most structures and property change over time; changes that acquired historic significance in their own right will be kept and preserved.
5. Distinctive features, finishes and construction techniques or examples of craftsmanship characterizing a structure or property will be preserved in the limits permitted by applicable regulations.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature must match the old in design, color, texture and other visual qualities; and, where possible, materials, if they meet other applicable codes and ordinances. Replacement of missing features will be proven by documentary, physical or pictorial evidence.

AGENDA ITEM REPORT

4.3.



7. Chemical or physical treatments that could damage historic materials are prohibited. Surface cleaning of structures, if appropriate, must be undertaken using the gentlest method possible.
8. New additions, exterior alterations, or related new construction will not destroy historic materials characterizing the structure or property. New work will be differentiated from the old and will be compatible with the massing, size, scale and architectural features to protect the historic integrity of the structure or property and its environment.
9. New additions and adjacent or related new construction will be undertaken in a way that the essential form and integrity of the historic structure or property and its environment will be unimpaired if it is removed in the future.
10. New construction taking place after demolition or removal of a structure or property in an historic district will conform to the design guidelines for the district.

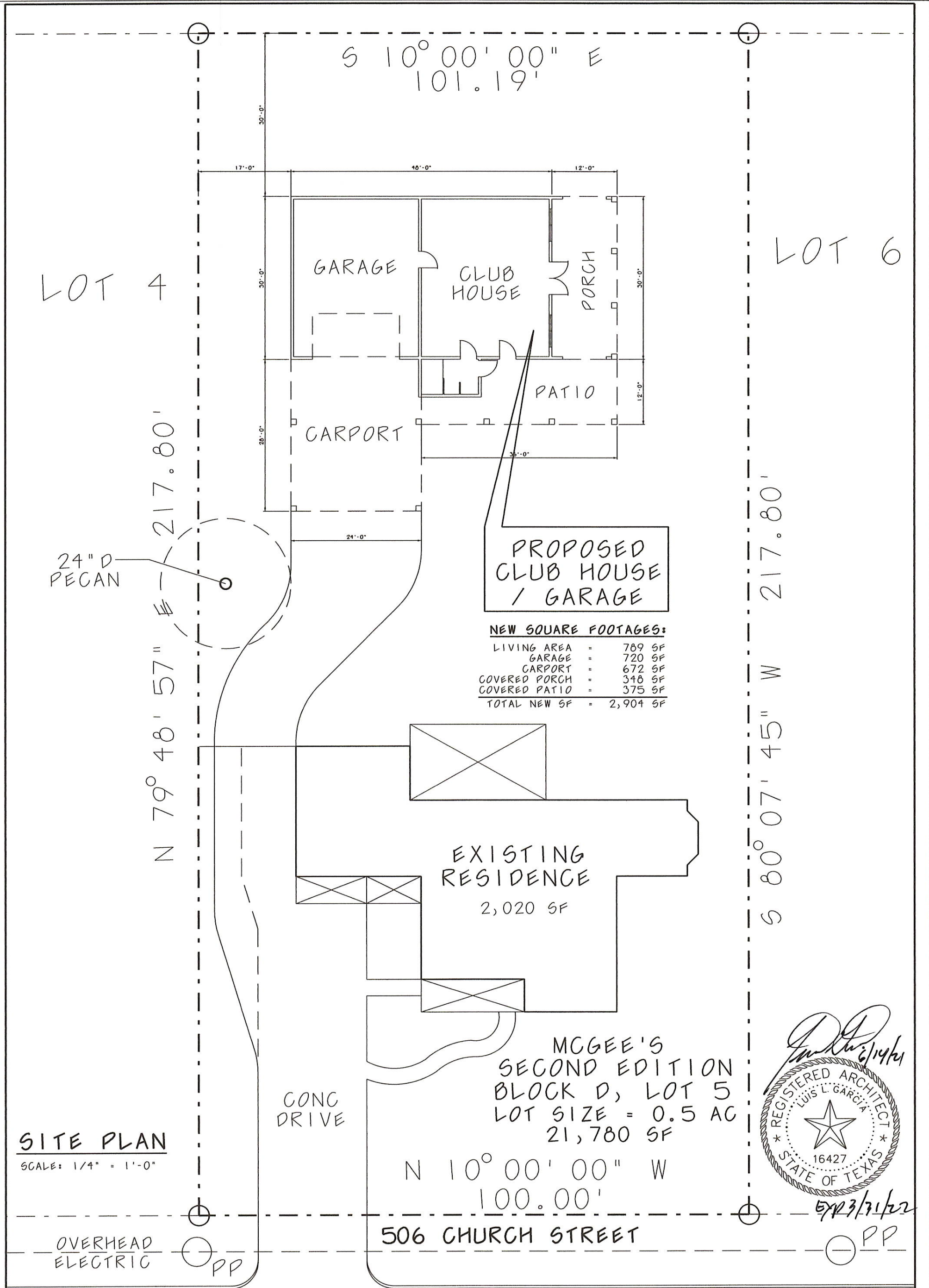
Staff Recommends approval of the proposed Certificate of Appropriateness for the new dwelling, accessory unit structure at 506 Church Street.

FISCAL NOTES:

POLICY IMPLICATIONS:

ATTACHMENTS:

1. 1 - 506 Church Street - Resubmittal Plan Set 7282021
2. Photos



SITE PLAN

SCALE: 1/4" = 1'-0"

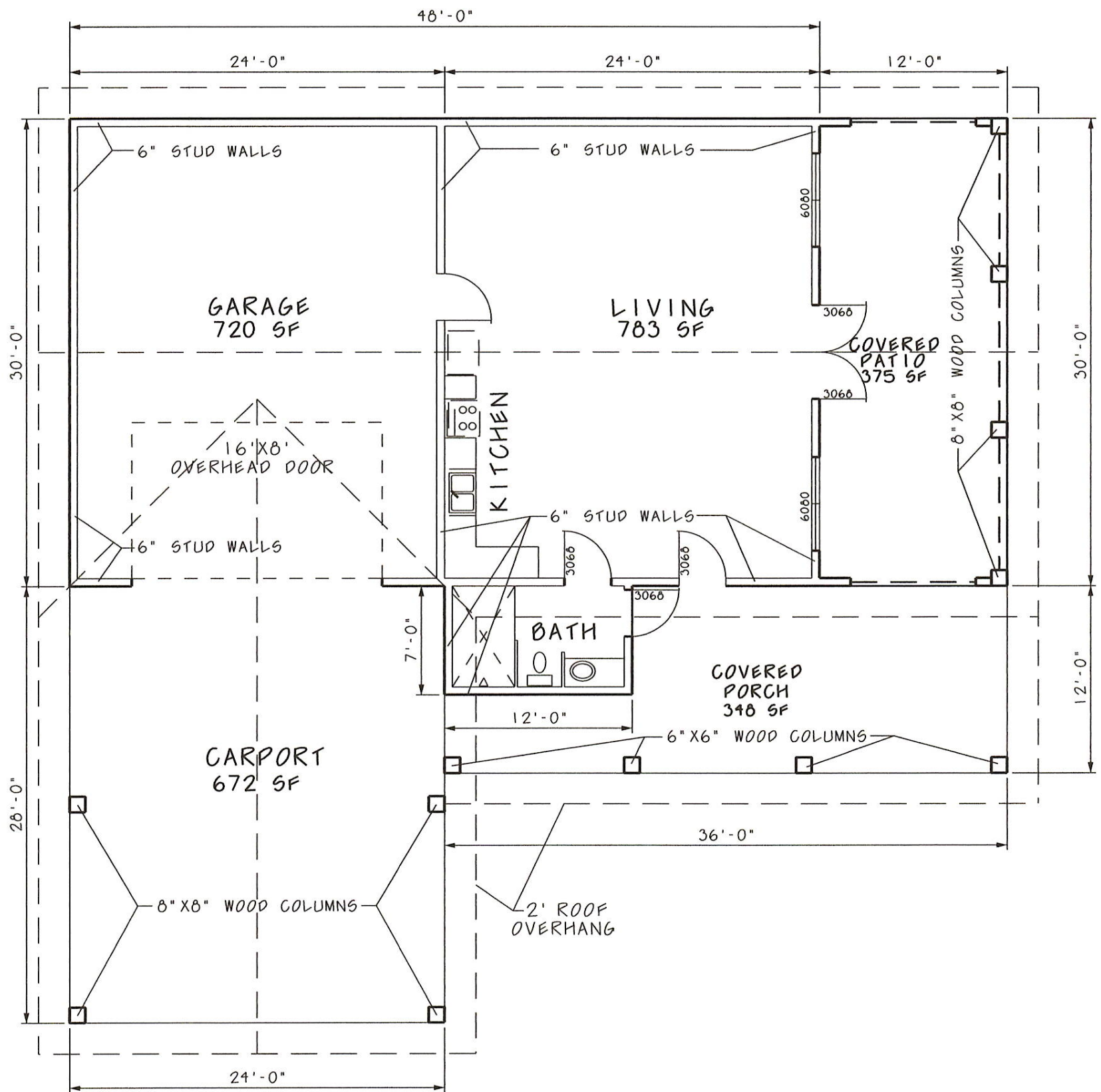
OVERHEAD
ELECTRIC

PP

506 CHURCH STREET

PP

SHEET NUMBER: 5-1	SHEET NAME: SITE PLAN	DATE: 6/14/2021	MR. SEAN FEASEL AND JANEANE MARIE MELTON		LG ARCHITECTURE
			MELTON CONSTRUCTION		
			LOCATION: 506 CHURCH STREET, HUTTO, TX		
			OWNER:		
					AUSTIN, TEXAS
					512-784-6467

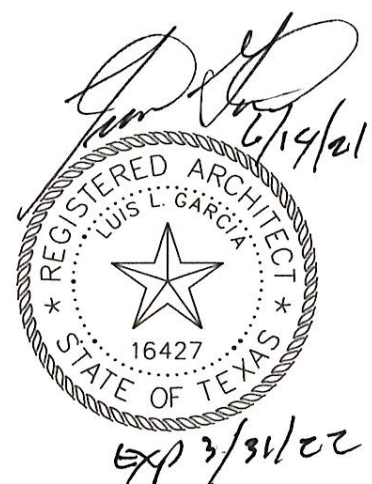


FLOOR PLAN

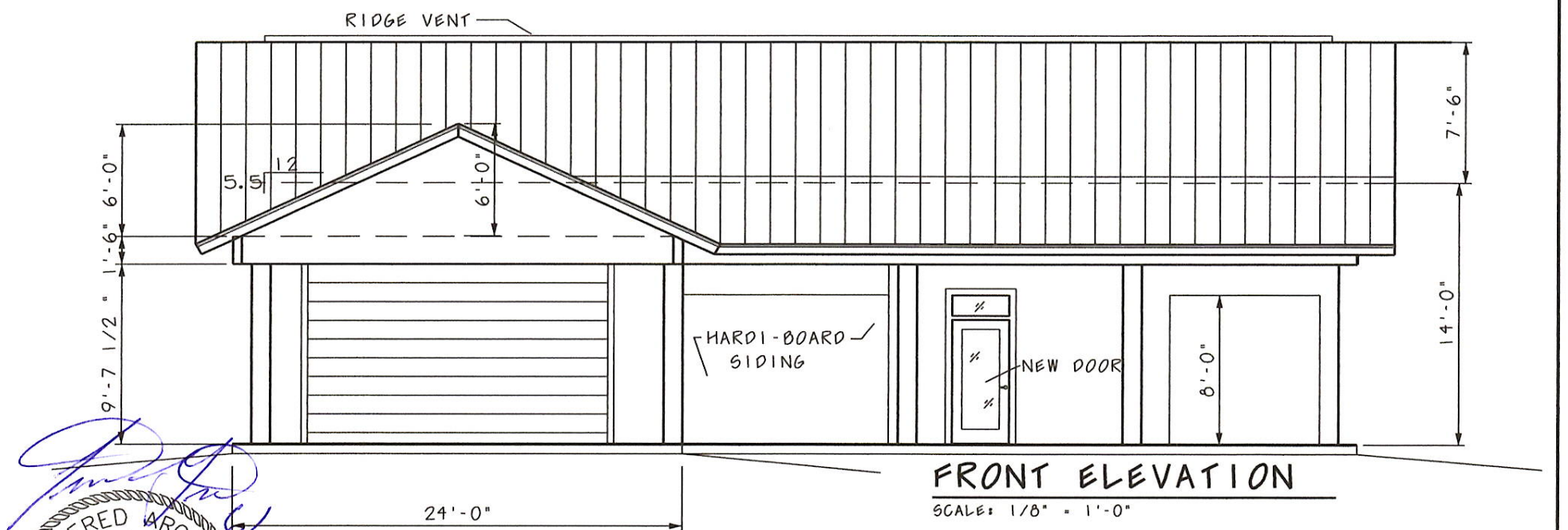
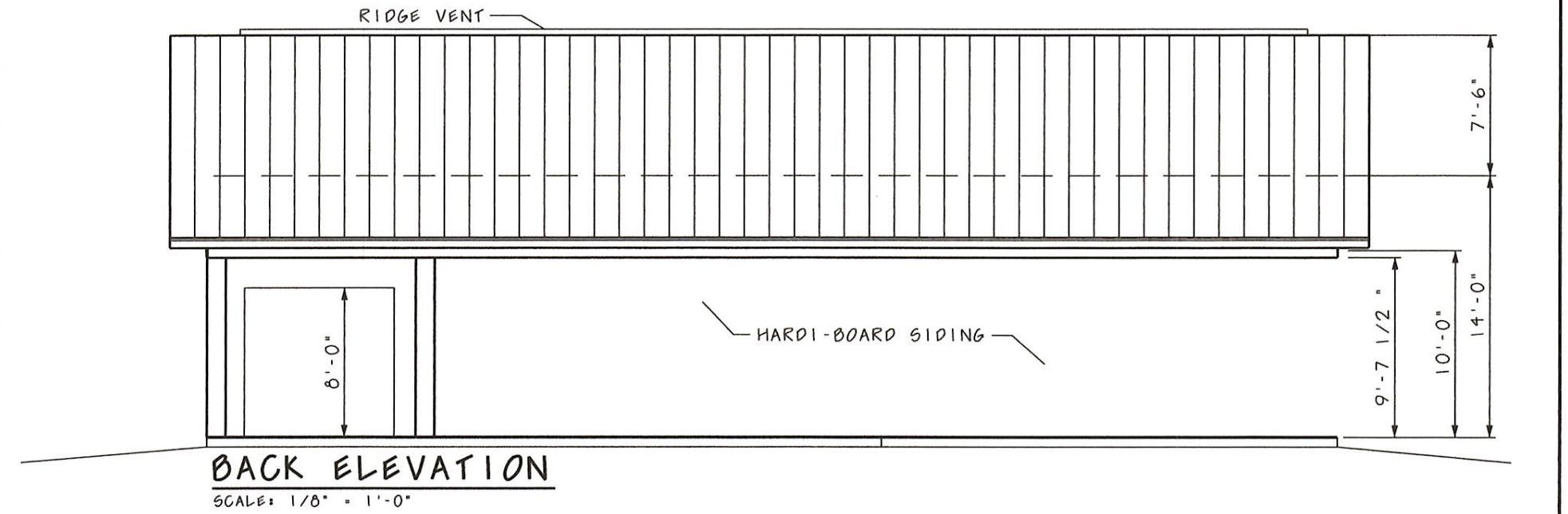
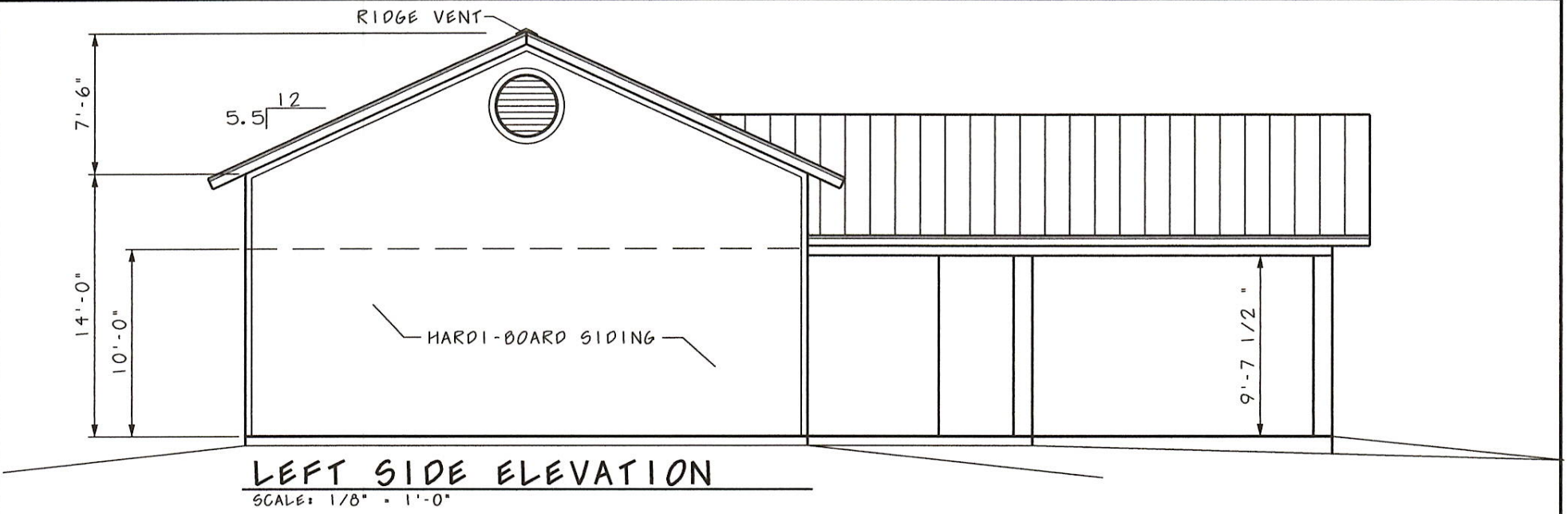
SCALE: 1/8" = 1'-0"

SQUARE FOOTAGES:

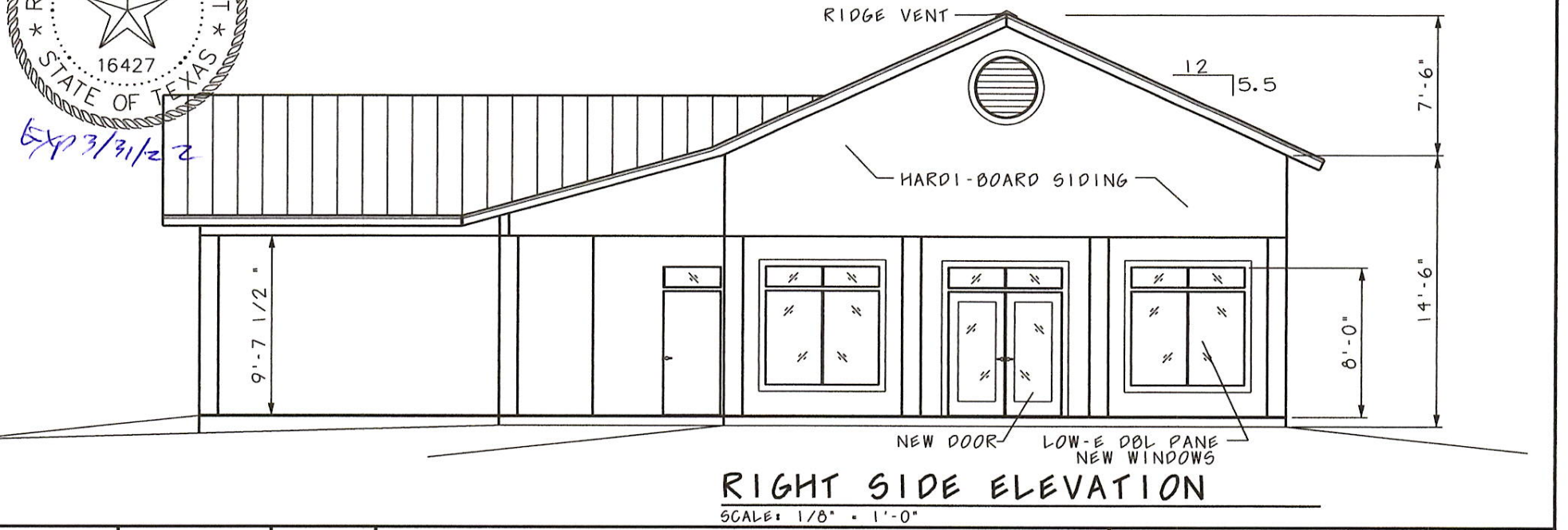
LIVING AREA	=	783 SF
GARAGE	=	720 SF
CARPORT	=	672 SF
COVERED PORCH	=	348 SF
COVERED PATIO	=	375 SF
TOTAL NEW SF	=	2,898 SF



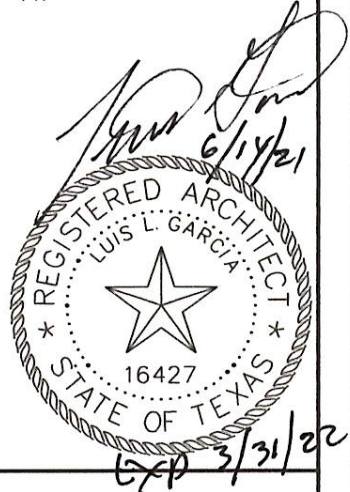
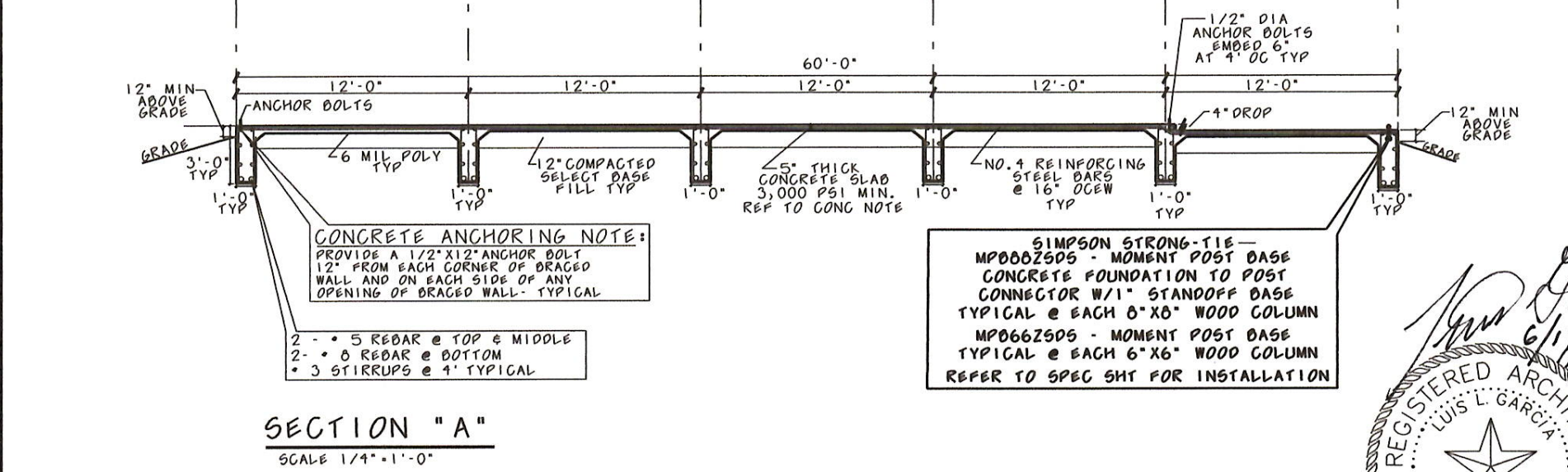
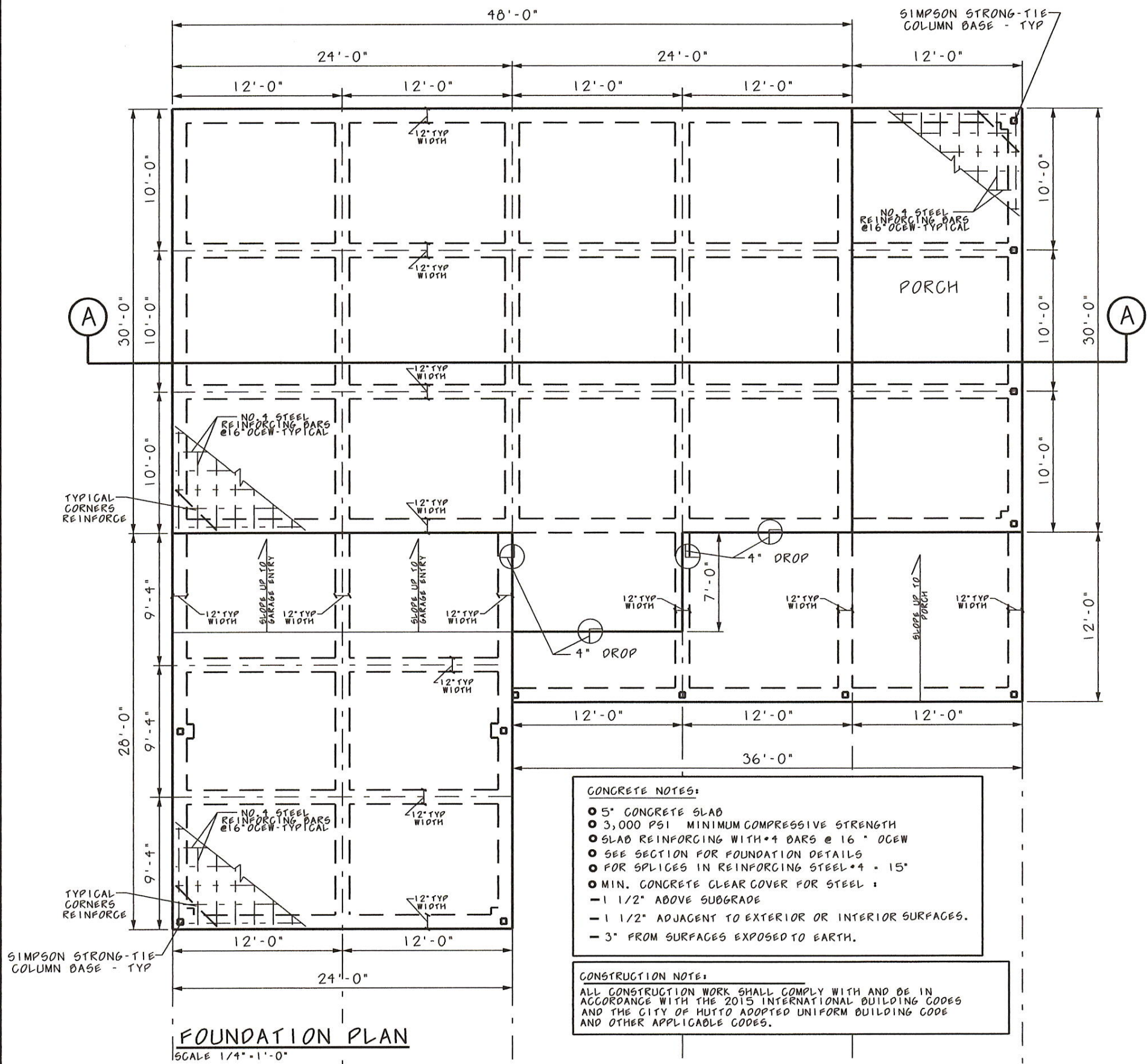
SHEET NUMBER:	SHEET NAME:	DATE:	MR. SEAN FEASEL AND JANEANE MARIE MELTON		LG ARCHITECTURE
A-1	FLOOR PLAN	5/5/2021	MELTON CONSTRUCTION		
			LOCATION: 506 CHURCH STREET, HUTTO, TX		
			OWNER:		
					AUSTIN, TEXAS 512-784-6467



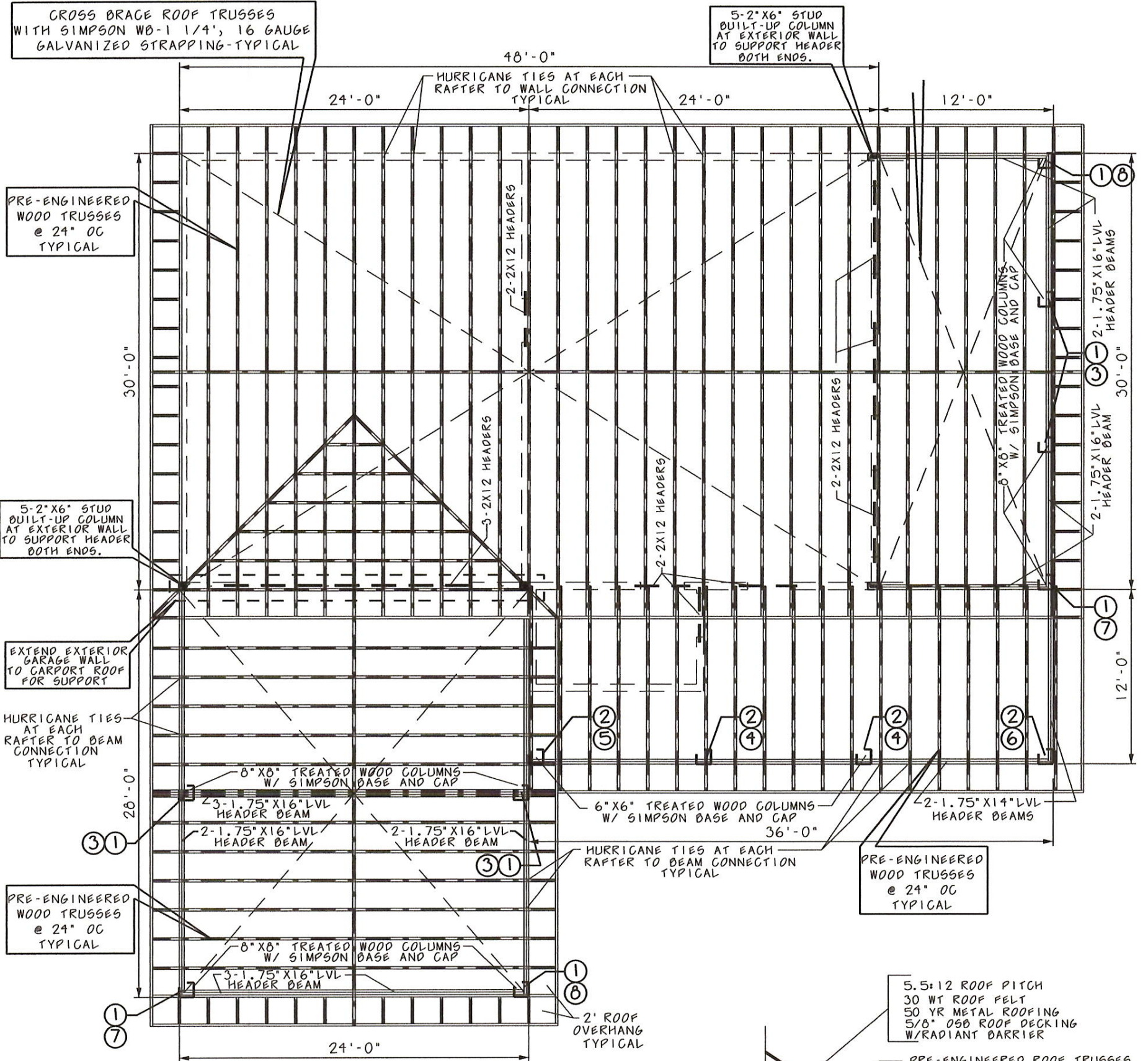
REGISTERED ARCHITECT
LUIS L. GARCIA
STATE OF TEXAS
16427
6/14/21
EXP 3/31/22



SHEET NUMBER: A-2	SHEET NAME: ELEVATIONS	DATE: 6/10/2021	MR. SEAN FEASEL AND JANEANE MARIE MELTON		LG ARCHITECTURE
			MELTON CONSTRUCTION		
			LOCATION: 506 CHURCH STREET, HUTTO, TX		
			OWNER:		
					AUSTIN, TEXAS 512-784-6467



SHEET NUMBER: 5-1	SHEET NAME: FOUNDATION	DATE: 6/10/2021	MR. SEAN FEASEL AND JANEANE MARIE MELTON MELTON CONSTRUCTION LOCATION: 506 CHURCH STREET, HUTTO, TX OWNER:	LG ARCHITECTURE AUSTIN, TEXAS 512-784-6467
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FRAMING PLAN

SCALE: 1/8" = 1'-0"

STRUCTURAL NOTES:
REFER TO FRAMING PLAN
AND FOUNDATION PLAN FOR
COLUMN BASE AND CAP CONNECTORS

**SIMPSON STRONG-TIE
STRUCTURAL COLUMN
AND POST CONNECTORS
TYPICAL**

- ① MPB88ZSDS - MOMENT POST BASE CONCRETE FOUNDATION TO POST CONNECTOR W/1" STANDOFF BASE TYPICAL @ EACH 8"X8" WOOD COLUMN
- ② MPB66ZSDS - MOMENT POST BASE CONCRETE FOUNDATION TO POST CONNECTOR W/1" STANDOFF BASE TYPICAL @ EACH 6"X6" WOOD COLUMN
- ③ CCT 8"X8" POST TO BEAM CONNECTORS W1=3.5", W2=7.5", W3=5.25"
- ④ CC046SDS2.5 POST TO BEAM CONNECTORS 6"X6" COLUMN CAP
- ⑤ ECCL0464 POST TO BEAM CONNECTOR 6"X6" LEFT CORNER COLUMN CAP
- ⑥ ECCL0464 POST TO BEAM CONNECTOR 6"X6" RIGHT CORNER COLUMN CAP
- ⑦ ECCL0684 POST TO BEAM CONNECTOR 8"X8" LEFT CORNER COLUMN CAP
- ⑧ ECCL0684 POST TO BEAM CONNECTOR 8"X8" RIGHT CORNER COLUMN CAP

HEADER NOTES:

ALL HEADERS TO HAVE DOUBLE JACK STUDS AT EACH END OF HEADER.

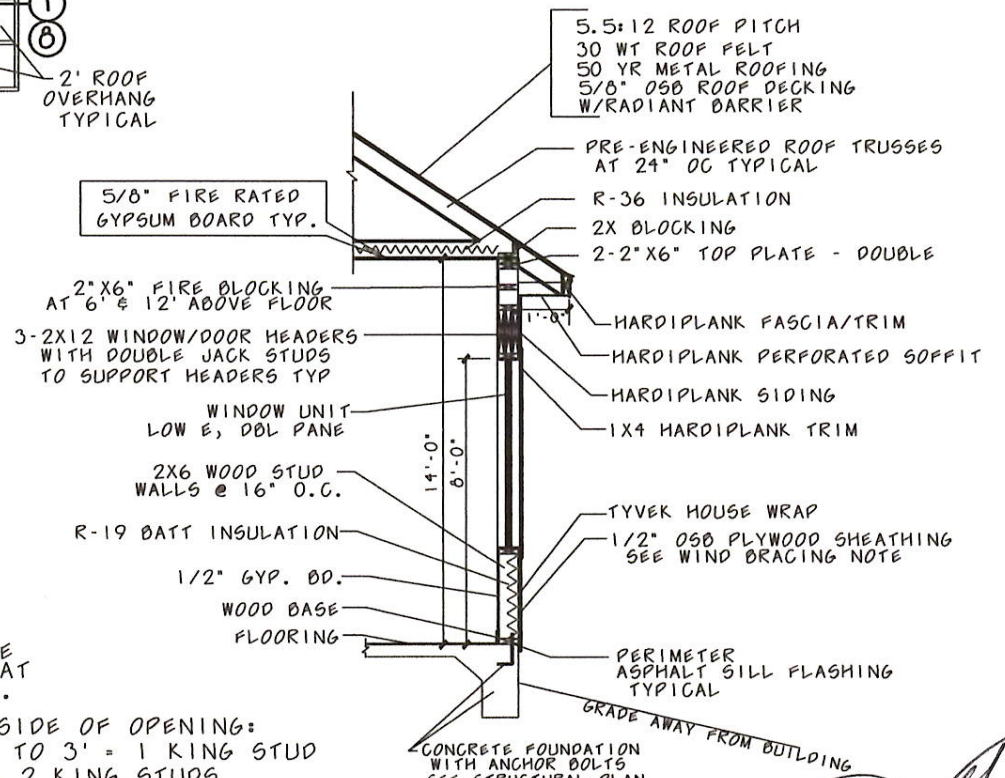
KING STUDS - EACH SIDE OF OPENING:
LESS THAN OR EQUAL TO 3' = 1 KING STUD
UP TO 4' OPENING = 2 KING STUDS
UP TO 8' OPENING = 3 KING STUDS
UP TO 16' OPENING = 4 KING STUDS

WIND BRACING NOTE: TYPICAL

PROVIDE 1/2" CONTINUOUS GYPSUM BOARD ON INTERIOR WALLS AND 1/2" OSB ON EXTERIOR WALLS FOR STRUCTURAL BRACING AT ALL WIND BRACED WALLS, *6 SCREWS, AT 7" ALONG EDGES & FIELD.

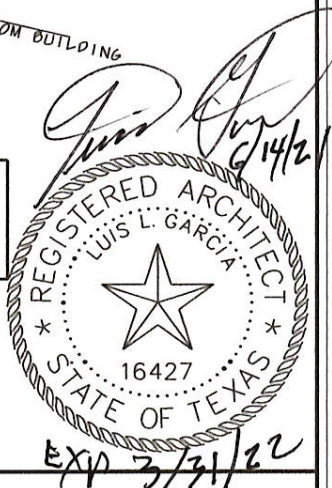
CONSTRUCTION NOTE:

ALL CONSTRUCTION WORK SHALL COMPLY WITH AND BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODES AND THE CITY OF HUTTO ADOPTED UNIFORM BUILDING CODE AND OTHER APPLICABLE CODES.



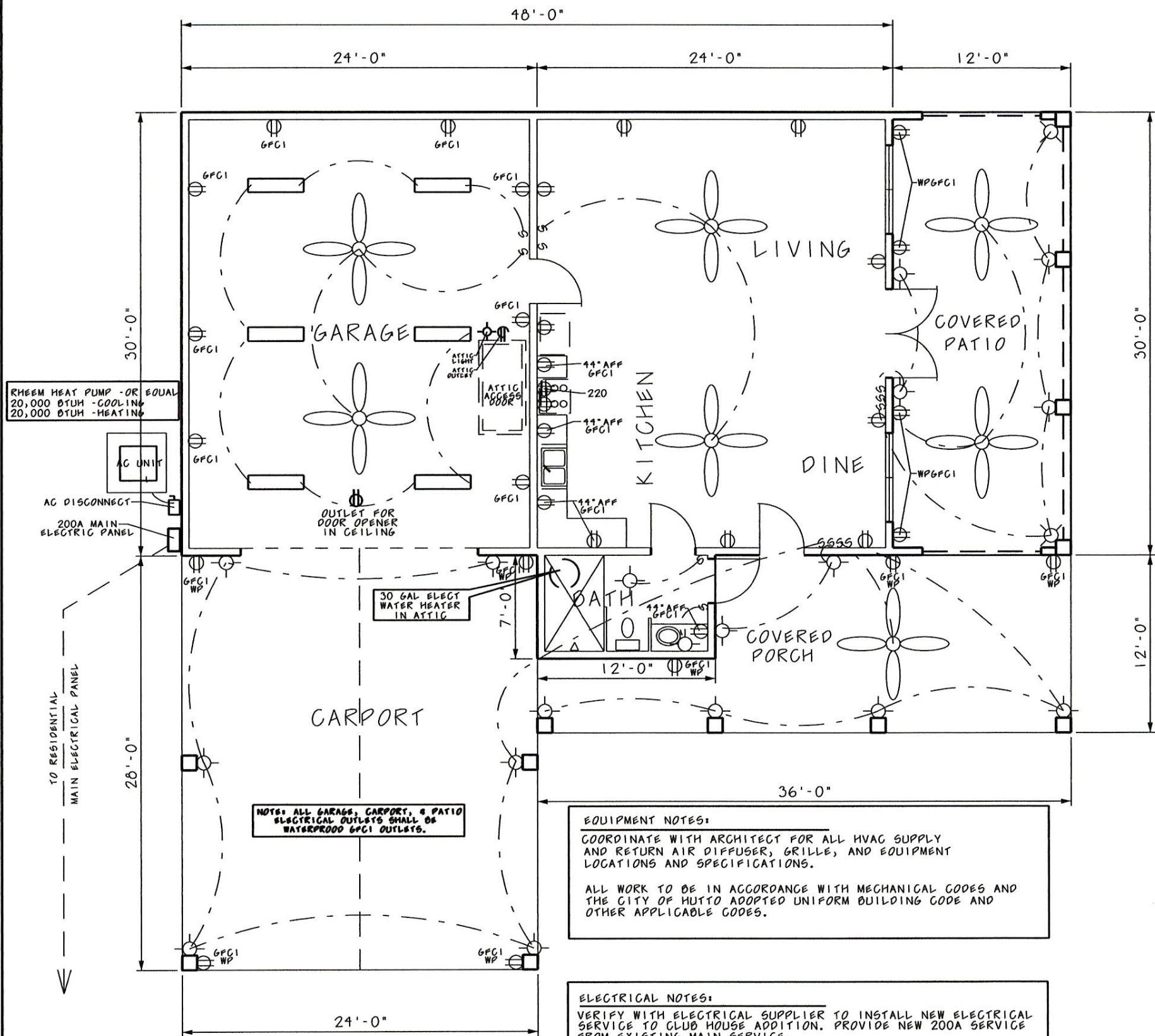
WALL SECTION

NOT TO SCALE



EXP 3/31/22

SHEET NUMBER:	SHEET NAME:	DATE:	MR. SEAN FEASEL AND JANEANE MARIE MELTON	LG ARCHITECTURE
5-2	FRAMING PLAN	6/14/2021	MELTON CONSTRUCTION	AUSTIN, TEXAS
			LOCATION: 506 CHURCH STREET, HUTTO, TX	512-784-6467
			OWNER:	



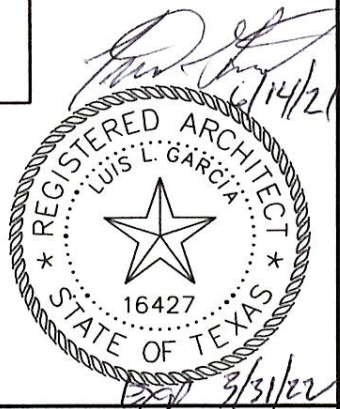
ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

EQUIPMENT NOTES:
COORDINATE WITH ARCHITECT FOR ALL HVAC SUPPLY AND RETURN AIR DIFFUSER, GRILLE, AND EQUIPMENT LOCATIONS AND SPECIFICATIONS.
ALL WORK TO BE IN ACCORDANCE WITH MECHANICAL CODES AND THE CITY OF HUTTO ADOPTED UNIFORM BUILDING CODE AND OTHER APPLICABLE CODES.

ELECTRICAL NOTES:
VERIFY WITH ELECTRICAL SUPPLIER TO INSTALL NEW ELECTRICAL SERVICE TO CLUB HOUSE ADDITION. PROVIDE NEW 200A SERVICE FROM EXISTING MAIN SERVICE.
ALL WORK TO BE IN ACCORDANCE WITH NEC ELECTRICAL CODES AND THE CITY OF HUTTO ADOPTED UNIFORM BUILDING CODE AND OTHER APPLICABLE CODES.

PLUMBING NOTES:
ALL HOT AND COLD WATER SHALL BE 1/2" COPPER PIPING
ALL WORK TO BE IN ACCORDANCE WITH PLUMBING CODES AND THE CITY OF HUTTO ADOPTED UNIFORM BUILDING CODE AND OTHER APPLICABLE CODES.



SHEET NUMBER: E - 1	SHEET NAME: ELECTRICAL PLAN	DATE: 6/10/2021	MR. SEAN FEASEL AND JANEANE MARIE MELTON		LG ARCHITECTURE AUSTIN, TEXAS 512-784-6467
			MELTON CONSTRUCTION		
			LOCATION: 506 CHURCH STREET, HUTTO, TX		
			OWNER:		







AGENDA ITEM REPORT

4.4.



To: Historic Preservation Commission
Subject: Consideration and possible action on the Master Sign Plan for 106 Taylor Street.
Meeting: Wednesday, March 22, 2023
Department: Development Services
Staff Contact: John Byrum

BACKGROUND INFORMATION:

106 Taylor Street is a commercial lot, approximately 1.00 acres in size. The property is zoned OT-4T and falls under the purview of the Historic Preservation Commission. The applicants are proposing new signage.

Surrounding uses:

- North – OT-3
- East – OT-4T
- South – OT-4T
- West – OT-4T

SUMMARY OF REQUEST:

Old Town Hutto has an historic existing character that shall be preserved by rehabilitation of existing significant buildings. In addition, new and infill construction in the district shall reflect the character of the district during its historic period of significance.

The key design principles establish essential goals for development in the Old Town to ensure the preservation, sustainability, and visual quality of this unique environment.

An applicant has the option to establish unique sign standards through a Master Sign Plan that includes standards for size, color, type, design, and location based upon specific performance criteria. A Master Sign Plan in the OT district shall be reviewed by Development Services staff and approved by the Historic Preservation Commission (HPC).

The applicant is proposing one double-sided sign with a height of 6 feet. The sign will be 4x4 Cedar Posts, painted white with white post caps. The main sign fence will be 24" x 5' and the tenant spots will be 10" x 5'. The sign faces will be .063 pre-finished white aluminum with vinyl logos. The horizontal beams will be white aluminum.

10.410.4.3 General Sign Standards: Signs shall be designed to be compatible with not just the

AGENDA ITEM REPORT

4.4.



historic character of the area but convey quality and permanence. To this end, the following sign standards shall apply by sign type (free standing monument - multi-tenant building/retail center <50,000 sq. ft. GFA):

- Maximum of 48 sq. ft., divided into no more than 4 sign panels. MEETS
- Maximum 8 feet in height. MEETS
- Maximum of 1 per street frontage. MEETS
- All monument signs shall include a sign face and a sign structure (sides, base and cap).
ESTABLISH UNIQUE STANDARDS THROUGH MASTER SIGN PLAN
 - The sign base and sign structure shall be brick, stone, or masonry material matching the front façade of the building.
 - The sign face shall be framed by a minimum of 6" of brick, stone, or masonry material matching the front façade of the building.
 - The monument sign base shall be a maximum of 2 feet in height and shall be included in the calculation of total height.
- Maximum total height is measured from the finished grade at the center of the sign to the top of the sign cap. If the finished grade at the center of the sign is higher or lower than the finished grade of the fronting street, then the height shall be measured from the finished grade of the fronting street. MEETS
- Monument signs shall not block any driveway or street sight triangles. MEETS
- Monument signs shall only be permitted along: a. street frontages where the building setback is 10 feet or greater; OR US 79 frontage; OR FM 1660 frontage. MEETS

AGENDA ITEM REPORT

4.4.



STAFF REVIEW:

Staff recommends approval of the proposed Master Sign Plan for the new signage at 106 Taylor Street.

FISCAL NOTES:

POLICY IMPLICATIONS:

ATTACHMENTS:

1. double-sided multi-tenant sign drawing
2. Placement
3. 106 taylor st. plans with added sidewalk

Date: December 30, 2022



Location: 106 Taylor St, Hutto, TX 78634

(1) Double-Sided Sign Option

Art Approval

Signature

Date

Art Office Signs

HOUSTON OFFICE:

9406 Montridge Houston, TX 77080

Phone: 713-862-2994 Fax: 713-862-2997

AUSTIN OFFICE:

201 W. 2nd St. Taylor, TX 76574

Phone: 512-365-2010 Fax: 512-365-7210

SAN ANTONIO OFFICE:

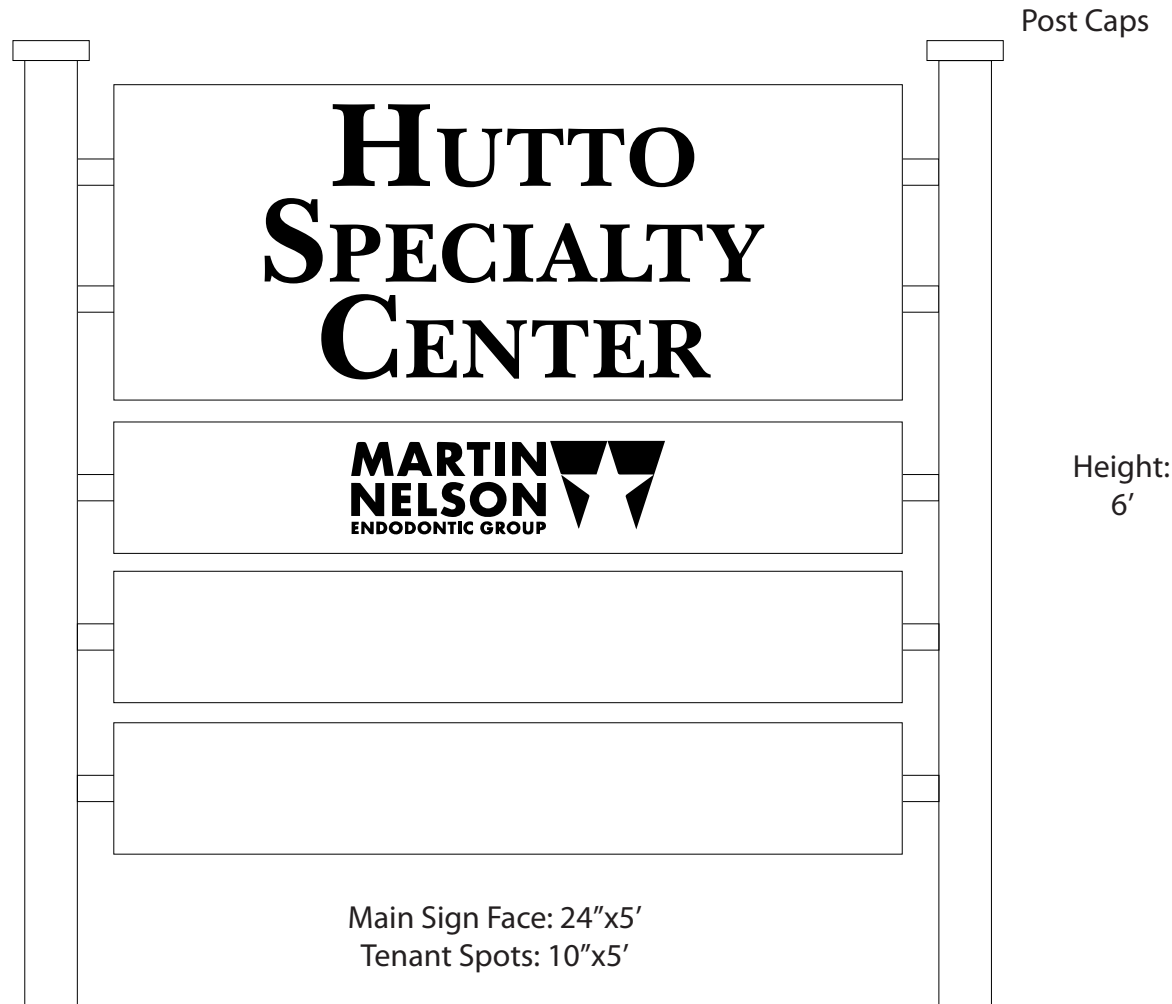
5620 Randolph Blvd

San Antonio, Texas 78233

Phone: 210-731-0878

www.artofficesigns.com

Graphic Designer: Shannon Davis



Main Sign Face: 24"x5'
Tenant Spots: 10"x5'

4"x4" Cedar Posts, Painted White

White Post Caps

Sign Faces will be .063 Pre-Finished White Aluminum with Vinyl Logos

Horizontal Beams will be white aluminum

NOTE: Images may not appear in full resolution. Colors may not appear accurate on your screen or office printer. Image edits vary depending on real world conditions.
Terms and Conditions are C.O.D (cash on delivery) unless otherwise noted.



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SPECIALTY
CENTER

MARTIN
WILSON

